

# BUILDER/DEVELOPER PACKET



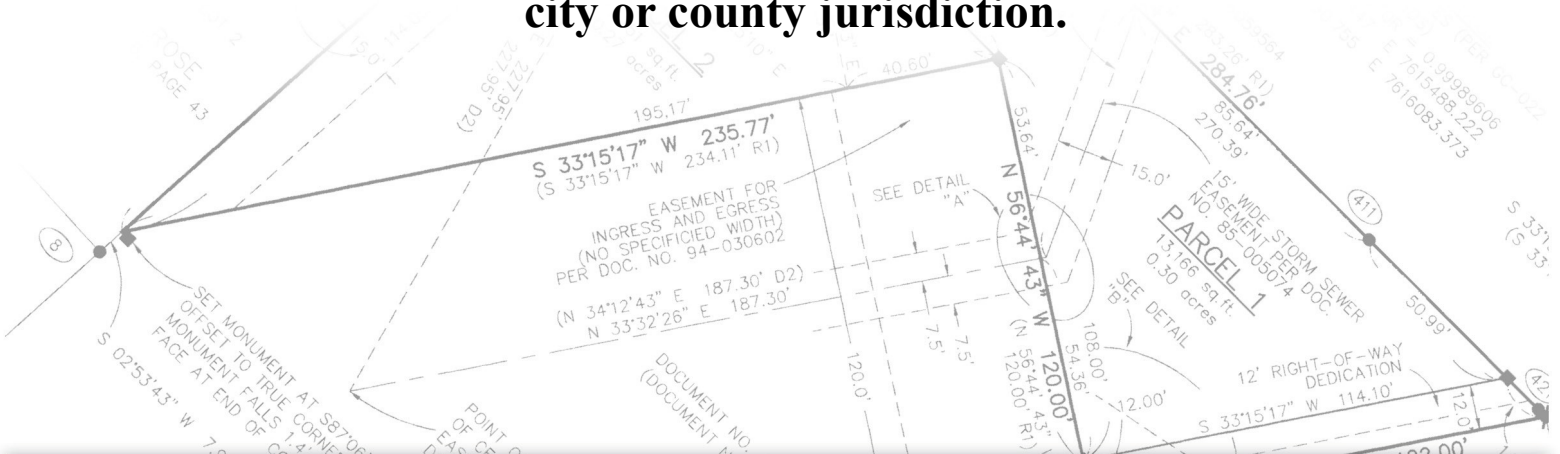
**PREPARED FOR:**  
**Ashley Larson**  
**Keller Williams Realty Portland Premiere**

**PROPERTY AT:**  
**1408 Pine Street**  
**Lake Oswego, OR 97034**

**THIS PACKET INCLUDES:**

- Trio
- Contour Map
- Flood Map
- Zoning Map
- Zoning Code—City of Lake Oswego R-7.5
- Sewer Line Map
- Water Line Map

**To ensure the latest zoning and development potential for this parcel, you should contact the city or county jurisdiction.**



**PREPARED BY:**  
**CUSTOMER RESOURCE: 503.220.8352 | CSOR@LTIC.COM**

## Property Information Report

**1408 PINE ST LAKE OSWEGO, OR 97034-6055**

### Ownership Information

**Owner Name:**

CYRUS HAPPY IV

**Mailing Address:**

35000 BAY HILL LN WARREN, OR 97053-9305

### Property Description

**County:** Clackamas

**Map / Tax Lot:** 21E10CD/09800

**Account Num:** 00264350

**Census:** 0205.03

**Property ID:** 00264350

**Owner Occ.:** No

**Land Use:** Single Family Residential

**Zoning:**

**Subdivision:** SOUTH OSWEGO

**Legal Description:**

79 SOUTH OSWEGO LTS 8 & 9 BLK 61

### Property Characteristics

**Property Type:** SINGLE FAMILY

**Building SF:** 700

**Heat:** BASEBOARD

**House Style:** 1 STORY WITH BASEMENT

**Living Area SF:** 700

**Cooling:**

**Year Built:** 1925

**Square Feet:** 700

**Foundation:** Concrete

**Bedrooms:** 2

**1st Floor SF:** 700

**Exterior:** OTHER

**Bathrooms:** 1.00

**2nd Floor SF:**

**Roof Style:**

**Lot Size:**

**3rd Floor SF:**

**Roof Cover:** COMPOSITION SHINGLE

**Acres:**

**Attic SF:**

**Fireplaces:**

**Garage Type:**

**Bsmnt SF:**

**Bsmnt Type:** NOT SPECIFIED

**Garage SF:**

**Fin Bsmnt SF:**

### Assessment Information

**Real Market Value:** \$ 498,024

**Taxes:** \$ 3,908.03

**Land Value:** \$ 367,624

**Imp. Value:** \$ 130,400

**Total Assessed Value:** \$ 203,946

**Levy Code:** 007-002

**Assessed Yr:** 2025

**Tax Year:** 2025

**M-5 Rate:** 18.3341

### Previous Sale Information

**Sale Amount:** \$ 17,500

**Sale Date:** 06/04/1998

**Document Num:** 98-052976

## Transaction History

<b>Sale Date</b>	<b>Sale Amount</b>	<b>HPI Sale Amount</b>	<b>Document Type</b>	<b>Reception Num</b>	<b>Book/Page</b>
6/4/1998	\$ 17,500	\$ 61,100	Wd	98-052976	/
1/8/1982	\$ 10,500	\$ 10,500	Wd	98-044817	/

This information has been furnished, without charge, in conformance with the guidelines approved by the State of Oregon Insurance Commissioner. The Insurance division cautions intermediaries that this service is designed to benefit the ultimate insureds. Indiscriminate use only benefiting intermediaries will not be permitted. Said Services may be discontinued. No liability is assumed for any errors in this report.

*All information provided by ValueCheck, Inc is deemed reliable, but not guaranteed.  
Accuracy of the information may vary by county.*

**Copyright © 2026 ValueCheck, Inc.**

# Property Account Summary



00264350

<b>Account Number</b>	00264350	<b>Property Address</b>	1408 PINE ST , LAKE OSWEGO, OR 97034
-----------------------	----------	-------------------------	--------------------------------------

General Information	
Alternate Property #	21E10CD09800
Property Description	79 SOUTH OSWEGO LTS 8 & 9 BLK 61
Last Sale Price	
Last Sale Date	
Last Sale Excise Number	
Property Category	Land &/or Buildings
Status	Active, Locally Assessed
Tax Code Area	007-002
Remarks	

Tax Rate	
Description	Rate
Total Rate	19.1621

Property Characteristics	
Neighborhood	14271: Hallinan 100, 101
Land Class Category	101: Residential land improved
Building Class Category	13: Single family res, class 3
Year Built	1925
Change property ratio	1XX

Parties			
Role	Percent	Name	Address
Taxpayer	100	HAPPY CYRUS IV	35000 BAYHILL LN, WARREN, OR 97053
Owner	100	HAPPY CYRUS IV	35000 BAYHILL LN, WARREN, OR 97053

Property Values					
Value Type	Tax Year 1	Tax Year 2	Tax Year 3	Tax Year 4	Tax Year 5
AVR Total	\$203,946	\$198,006	\$192,239	\$186,640	\$181,204
Exempt					
TVR Total	\$203,946	\$198,006	\$192,239	\$186,640	\$181,204
Real Mkt Land	\$367,624	\$360,374	\$357,268	\$336,557	\$282,707
Real Mkt Bldg	\$130,400	\$127,670	\$128,160	\$121,190	\$103,160
Real Mkt Total	\$498,024	\$488,044	\$485,428	\$457,747	\$385,867
M5 Mkt Land	\$367,624	\$360,374	\$357,268	\$336,557	\$282,707
M5 Mkt Bldg	\$130,400	\$127,670	\$128,160	\$121,190	\$103,160
M5 SAV					
SAVL (MAV Use Portion)					
MAV (Market Portion)	\$203,946	\$198,006	\$192,239	\$186,640	\$181,204
Mkt Exception					
AV Exception					

**Parents**

Parcel No.	Seg/Merge No.	Status	From Date	To Date	Continued	Document Number
------------	---------------	--------	-----------	---------	-----------	-----------------

No Parents Found

**Children**

Parcel No.	Seg/Merge No.	Status	From Date	To Date	Document Number
------------	---------------	--------	-----------	---------	-----------------

No Children Found

**Active Exemptions**

No Exemptions Found

**Events**

Effective Date	Entry Date-Time	Type	Remarks
10/16/2001	10/16/2001 16:54:00	The situs address has changed	by LINDAPET
07/01/1999	07/01/1999 12:00:00	Ownership at Conversion	Paid Up: 98-52976, 6/1/98, \$ 17500

**Tax Balance****Installments Payable**

Tax Year	Category	TCA/District	Charged	Minimum	Balance Due	Due Date
----------	----------	--------------	---------	---------	-------------	----------

No Records Found

Installments Payable/Paid for Tax Year(Enter 4-digit Year, then Click-Here): **Receipts**

Date	Receipt No.	Amount Applied to Parcel	Total Amount Due	Receipt Total	Change
10/29/2025 00:00:00	5764120 (ReceiptDetail.aspx? receiptnumber=5764120)	\$3,908.03	\$3,908.03	\$3,790.79	\$0.00
10/31/2024 00:00:00	5582155 (ReceiptDetail.aspx? receiptnumber=5582155)	\$3,803.85	\$3,803.85	\$3,689.73	\$0.00
11/01/2023 00:00:00	5394774 (ReceiptDetail.aspx? receiptnumber=5394774)	\$3,692.12	\$3,692.12	\$3,581.36	\$0.00
04/05/2023 11:51:00	5370648 (ReceiptDetail.aspx? receiptnumber=5370648)	\$3,678.08	\$3,678.08	\$3,678.08	\$0.00
11/01/2021 00:00:00	5026166 (ReceiptDetail.aspx? receiptnumber=5026166)	\$3,308.55	\$3,308.55	\$3,209.29	\$0.00

**Sales History**

Sale Date	Entry Date	Recording Date	Recording Number	Sale Amount	Excise Number	Deed Type	Transfer Type	Grantor(Seller)	Grantee(Buyer)	Other Parcels
-----------	------------	----------------	------------------	-------------	---------------	-----------	---------------	-----------------	----------------	---------------

No Sales History Found

**Property Details**

Living Area Sq Ft	Manf Struct Size	Year Built	Improvement Grade	Stories	Bedrooms	Full Baths	Half Baths
700	0 X 0	1925	32	1.0	2	1	0

## Detailed Statement

<b>Parcel Number</b>	00264350	<b>Property Address</b>	1408 PINE ST , LAKE OSWEGO, OR 97034
----------------------	----------	-------------------------	---

**As Of Date:** 3/27/2026

Tax Year	Category	TCA/District	Charged	Minimum	Balance Due	Due Date
1993	Property Tax Principal	007-002	\$1,535.75	\$0.00	\$0.00	11/15/1993
1994	Property Tax Principal	007-002	\$1,416.58	\$0.00	\$0.00	11/15/1994
1995	Property Tax Principal	007-002	\$1,257.04	\$0.00	\$0.00	11/15/1995
1996	Property Tax Principal	007-002	\$1,330.10	\$0.00	\$0.00	11/15/1996
1997	Property Tax Principal	007-002	\$1,386.98	\$0.00	\$0.00	11/15/1997
1998	Property Tax Principal	007-002	\$1,427.73	\$0.00	\$0.00	11/15/1998
1999	Property Tax Principal	007-002	\$1,433.64	\$0.00	\$0.00	11/15/1999
2000	Property Tax Principal	007-002	\$1,499.69	\$0.00	\$0.00	11/15/2000
2001	Property Tax Principal	007-002	\$1,656.91	\$0.00	\$0.00	11/15/2001
2002	Property Tax Principal	007-002	\$1,688.28	\$0.00	\$0.00	11/15/2002
2003	Property Tax Principal	007-002	\$1,762.56	\$0.00	\$0.00	11/15/2003
2004	Property Tax Principal	007-002	\$1,848.29	\$0.00	\$0.00	11/15/2004
2005	Property Tax Principal	007-002	\$1,923.32	\$0.00	\$0.00	11/15/2005
2006	Property Tax Principal	007-002	\$1,928.94	\$0.00	\$0.00	11/15/2006
2007	Property Tax Principal	007-002	\$2,012.51	\$0.00	\$0.00	11/15/2007
2008	Property Tax Principal	007-002	\$2,105.49	\$0.00	\$0.00	11/15/2008
2009	Property Tax Principal	007-002	\$2,246.55	\$0.00	\$0.00	11/15/2009
2010	Property Tax Principal	007-002	\$2,270.06	\$0.00	\$0.00	11/15/2010
2011	Property Tax Principal	007-002	\$2,309.10	\$0.00	\$0.00	11/15/2011
2012	Property Tax Principal	007-002	\$2,390.93	\$0.00	\$0.00	11/15/2012
2013	Property Tax Principal	007-002	\$2,460.35	\$0.00	\$0.00	11/15/2013
2014	Property Tax Principal	007-002	\$2,505.88	\$0.00	\$0.00	11/15/2014
2015	Property Tax Principal	007-002	\$2,538.64	\$0.00	\$0.00	11/15/2015
2016	Property Tax Principal	007-002	\$2,627.68	\$0.00	\$0.00	11/15/2016
2017	Property Tax Principal	007-002	\$2,886.71	\$0.00	\$0.00	11/15/2017
2018	Property Tax Principal	007-002	\$2,991.74	\$0.00	\$0.00	11/15/2018
2019	Property Tax Principal	007-002	\$3,146.12	\$0.00	\$0.00	11/15/2019
2020	Property Tax Principal	007-002	\$3,225.46	\$0.00	\$0.00	11/15/2020
2021	Property Tax Principal	007-002	\$3,308.55	\$0.00	\$0.00	11/15/2021
2022	Property Tax Interest	007-002	\$95.53	\$0.00	\$0.00	04/05/2023
2022	Property Tax Principal	007-002	\$3,582.55	\$0.00	\$0.00	11/15/2022
2023	Property Tax Principal	007-002	\$3,692.12	\$0.00	\$0.00	11/15/2023
2024	Property Tax Principal	007-002	\$3,803.85	\$0.00	\$0.00	11/15/2024
2025	Property Tax Principal	007-002	\$3,908.03	\$0.00	\$0.00	11/15/2025
TOTAL Due as of 03/27/2026					\$0.00	

NS

STATE OF OREGON 98-052976  
CLACKAMAS COUNTY

Received and placed in the public records of Clackamas County  
RECEIPT# AND FEE: 74188 \$35.00  
DATE AND TIME: 06/15/98 09:50 AM  
JOHN KAUFFMAN, COUNTY CLERK

ARLOAN BUEFFINGTON  
4620 N. 19TH AVE  
PHOENIX, ARIZ. 85015  
Grantor's Name and Address

CYRUS HAPPY, IV  
2626 SW RAVENSWIEW DR  
PORTLAND, OR 97201  
Grantee's Name and Address

After recording, return to (Name, Address, Zip):  
CYRUS HAPPY, IV  
2626 SW RAVENSWIEW DR  
PORTLAND, OR 97201

Until requested otherwise, send all tax statements to (Name, Address, Zip):  
CYRUS HAPPY, IV  
2626 SW RAVENSWIEW DR  
PORTLAND, OR 97201

SPACE RESERVED FOR RECORDER'S USE

book/reel/volume no. \_\_\_\_\_ on page \_\_\_\_\_ and/or as fee/file/instrument/microfilm/reception No. \_\_\_\_\_, Records of said County.

Witness my hand and seal of County affixed.

NAME TITLE

By \_\_\_\_\_, Deputy.

WARRANTY DEED - STATUTORY FORM (INDIVIDUAL GRANTOR)

ARLOAN BUEFFINGTON, Grantor,  
conveys and warrants to CYRUS HAPPY, IV, Grantee,  
the following described real property free of encumbrances, except as specifically set forth herein, situated in CLACKAMAS County, Oregon, to-wit: LOTS EIGHT (8) AND NINE (9), BLOCK SIXTY ONE (61), SOUTH OSWEGO, COUNTY OF CLACKAMAS AND STATE OF OREGON.

(IF SPACE INSUFFICIENT, CONTINUE DESCRIPTION ON REVERSE)

The property is free from encumbrances, except (if none, so state): PLANNING AND ZONING LAWS OF THE CITY OF LAKE OSWEGO, COUNTY OF CLACKAMAS AND STATE OF OREGON.

The true consideration for this conveyance is \$17,500.00. (Here, comply with the requirements of ORS 93.030.)

Dated this 15th day of June, 1998.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

*Arloan Bueffington*

98-052976

STATE OF OREGON, County of Maricopa ss.  
This instrument was acknowledged before me on June 4, 1998,  
by Arloan B. Bueffington



*Edmundo Campa, Jr.*  
Notary Public for Oregon  
My commission expires 12/26/2001



Parcel Information		Assessment Information	
Parcel #:	00264350	Market Value Land:	\$367,624.00
Tax Lot:	21E10CD09800	Market Value Impr:	\$130,400.00
Site Address:	1408 Pine St	Market Value Total:	\$498,024.00
	Lake Oswego OR 97034 - 6055	Assessed Value:	\$203,946.00 (2025)
Owner:	Happy, Cyrus IV	<b>Tax Information</b>	
	35000 Bayhill Ln	Levy Code Area:	007-002
	Warren OR 97053 - 9305	Levy Rate:	19.1621 (2025)
Twn/Range/Section:	02S / 01E / 10 / SW	Tax Year:	2025
	:	Annual Tax:	\$3,908.03
Parcel Size:	0.23 Acres (9,999 SqFt)	Exemption:	
Plat/Subdivision:	South Oswego	<b>Legal</b>	
Lot/Block:	8,9 / 61	79 SOUTH OSWEGO LTS 8 & 9 BLK 61	
Map Page/Grid:	686-E1		
Census Tract/Block:	020503 / 1027		

Land			
Cnty Land Use:	101 - Residential land improved	County Bldg Use:	
Land Use Std:	1001 - Single Family Residential	Recreation:	
Watershed:	Johnson Creek-Willamette River	Neighborhood:	MSS - McVey-South Shore
Zoning:	Lake Oswego-R-7.5 - Low Density Residential District	# Dwellings:	1
School District:	7J - Lake Oswego	Elementary School:	Hallinan Elementary School
Middle School:	Lakeridge Middle School	High School:	Lakeridge High School

Improvement					
Year Built:	1925	Stories:	1	Total Area:	700 SqFt
Bedrooms:	2	Garage:		First Floor:	
Baths, Total:	1	Baths, Full/Half:	1 / 0	Second Floor:	
Roof Covering:	Composition Shingle	Exterior Walls:	Wood Shingle	Basement Fin/Unfin:	
A/C:		Heat:	Baseboard	Attic Fin/Unfin:	
Kitchen:		Porch/Patio:		Deck:	

Transfer Information							
Rec. Date:	06/15/1998	Sale Price:	\$17,500.00	Doc Num:	1998-052976	Doc Type:	Warranty Deed
Owner:	Cyrus Happy	Grantor:	BUFFINGTON ARLOAH	Title Co:		Lender:	
Orig. Loan Amt:		Loan Type:					

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Aerial Map



**Lawyers Title**

**Parcel ID: 00264350**

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.



**Lawyers Title**

Parcel ID: 00264350

Site Address: 1408 Pine St

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Contour Map

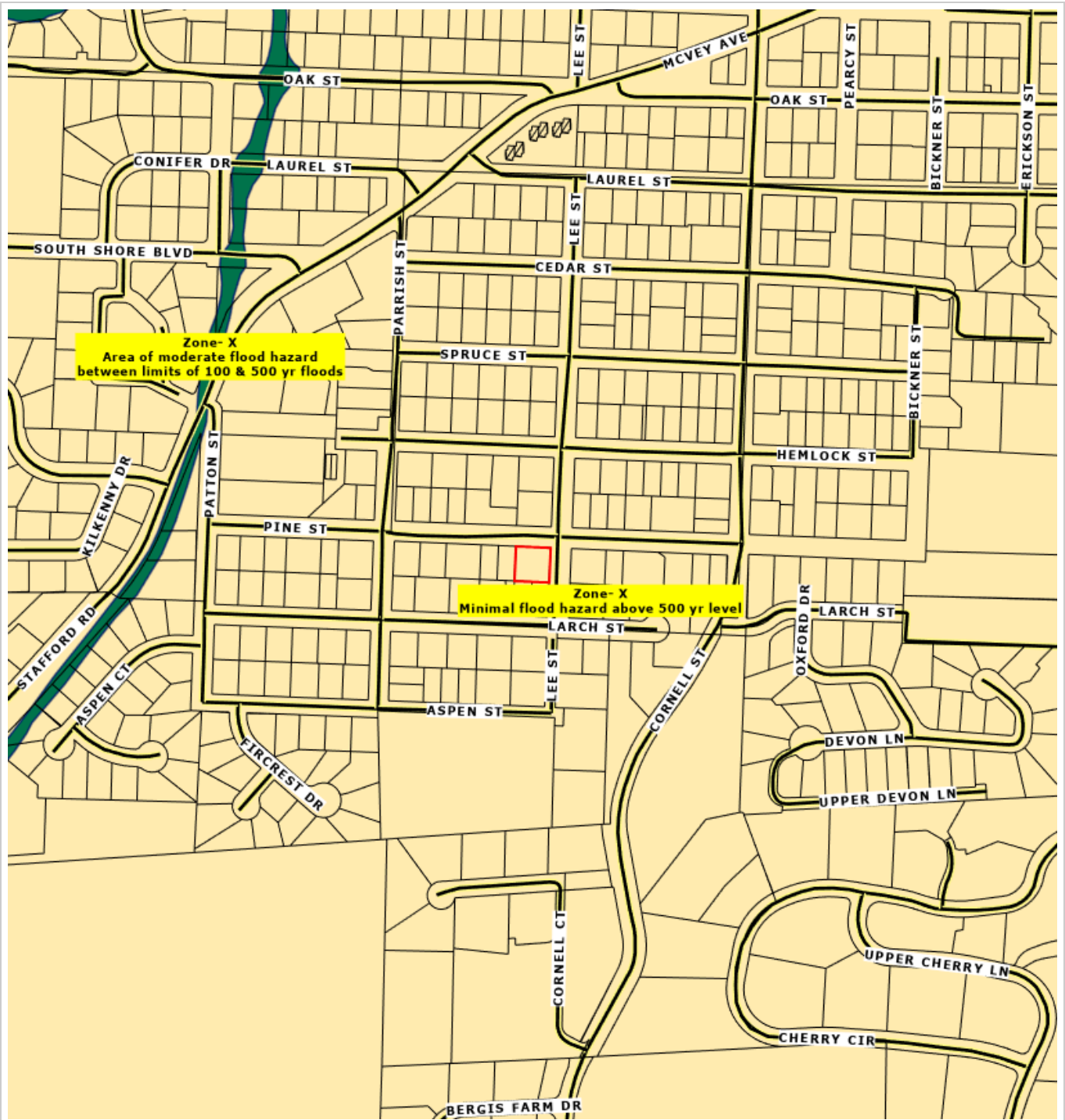


**Lawyers Title**

**Parcel ID: 00264350**

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Flood Map

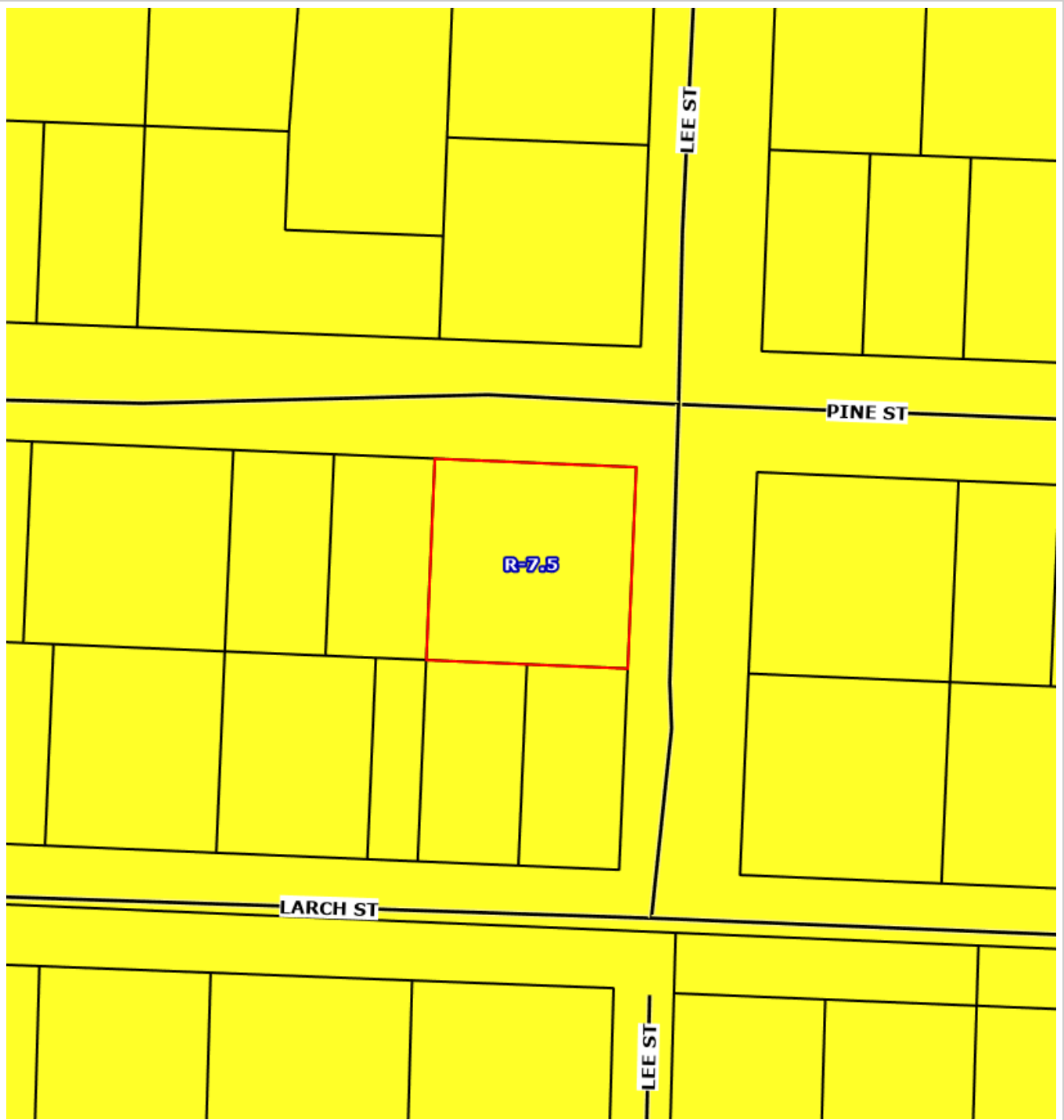


**Lawyers Title**

Parcel ID: 00264350

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Zoning Map



**Lawyers Title**

**Parcel ID: 00264350**

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

**LOC 50.02: BASE ZONING DISTRICTS**

- 50.02.001 RESIDENTIAL DISTRICTS
- 50.02.002 COMMERCIAL, INDUSTRIAL, MIXED USE ZONES
- 50.02.003 SPECIAL PURPOSE DISTRICTS

**50.02.001 RESIDENTIAL DISTRICTS**  
**1. RESIDENTIAL-LOW DENSITY ZONES**

**a. Districts**

The residential-low density zone districts are R-15, R-10, and R-7.5.

**b. Purpose**

To provide lands for single-family residential development with densities ranging from two to five dwelling units per gross acre.

(Ord. 2579, Repealed and Replaced, 03/20/2012)

**LOC 50.04: DIMENSIONAL STANDARDS** Revised 3/17

- 50.04.001 DIMENSIONAL TABLE Revised 3/17
- 50.04.002 SPECIAL STREET SETBACKS
- 50.04.003 EXCEPTIONS, PROJECTIONS, AND ENCROACHMENTS Revised 3/17
- 50.04.004 SOLAR ADJUSTMENTS

**50.04.001 DIMENSIONAL TABLE** Revised 3/17



The following dimensional regulations apply to the base zones as identified in each table. These dimensions may have exceptions or modifications as identified in LOC 50.04.003.1, Additional Dimensional Exceptions.

**1. RESIDENTIAL LOW DENSITY ZONES** Revised 3/17



**a. Dimensional Standards**

Development in the R-7.5, R-10, and R-15 zones shall conform to the dimensional standards in Table 50.04.001-1 except as modified below.

TABLE 50.04.001-1: RESIDENTIAL LOW DENSITY ZONES DIMENSIONS					
		R-7.5	R-10	R-15	Comments/Additional Standards
<b>DENSITY</b>					50.04.001.1.b
Minimum [1]		80% of max	80% of max	80% of max	
Maximum (units/acre)		[2]	[2]	[2]	
<b>MIN. LOT DIMENSIONS [3]</b>					50.04.001.1.c
Area (sq. ft.)		7,500	10,000	15,000	Except PD [3]
Width (ft.)		50	65	80	
Depth (ft.)		—	—	—	
<b>MAX. FLOOR AREA</b>					50.04.001.1.d
Base Calculation: 3,000 sq. ft. + [(actual lot size – 5,800 sq. ft.) x 0.19]		Additional floor area allowance per primary residential unit providing a garage (sq. ft.)			
		600	750	850	
<b>YARD SETBACKS</b>					50.04.001.1.e
<b>Primary Structure</b>					
Front (ft.)		25	25	25	
Side Adjacent to Street (ft.)					
Arterial/Collector		20	20	20	



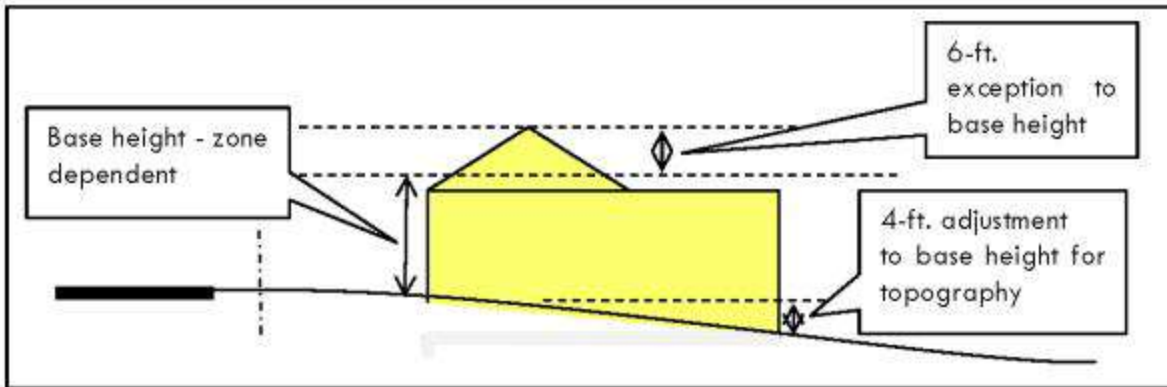
TABLE 50.04.001-1: RESIDENTIAL LOW DENSITY ZONES DIMENSIONS					
					
		R-7.5	R-10	R-15	Comments/Additional Standards
Local		15	15	15	
Interior Side (ft.)		Total 15, 5 min.	10	10	
Rear (ft.)		30	30	30	
<b>Accessory Structure</b>					
Front (ft.)		25	25	25	
Side Adjacent to Street (ft.)					
Arterial/Collector		20	20	20	
Local		15	15	15	
Height ≤ 18 ft.	Side	5	10	10	
	Rear	10	15	15	
Height > 18 ft.	Side	5	10	10	
	Rear	15	15	15	
<b>MAX. LOT COVERAGE</b>					50.04.001.1.f
<b>MAX. BASE HEIGHT (FT.)</b>					
Primary Structure		[4]	[4]	[4]	50.04.001.1.g
Flat Lot		28	30	35	
Lot with Sloping Topography		32 [5]	34 [5]	35	
Sloped Lot		35	35	35	
Accessory Structure		Lesser of 24 ft. or height of roof form of primary structure	Lesser of 24 ft. or height of roof form of primary structure	Lesser of 24 ft. or height of roof form of primary structure	50.04.001.1.g [6]
<b>Additional Standards and Modifications</b>			50.04.001.1.b – g		
<p>[1] When subdivisions are proposed, the number of lots required shall be determined by dividing the net developable area by the minimum lot size per unit required in the underlying zone, and multiplying this number by 0.8. The result shall be rounded up for any product with a fraction of 0.5 or greater and rounded down for any product with a fraction of less than 0.5. The requirements of this section are subject to the exceptions contained in LOC 50.04.003.10, Exceptions to the Minimum Density Requirement for All Zones.</p> <p>[2] Net developable area divided by the minimum lot area per unit and rounded down to the nearest whole number. The actual density allowed on a site will be determined at the time of development review. Maximum density will be allowed to the extent that facts presented to the hearing body show that development at that density can occur within requirements set forth in the Development Standards.</p> <p>[3] Up to a 25% reduction in minimum required lot area for each dwelling unit shall be allowed to permit the relocation of a designated historic landmark, when relocation has been approved by the designated hearing body.</p> <p>[4] Base building height of single-family dwellings may be increased by one ft. for every five additional ft. in yard setback on all sides.</p>					

TABLE 50.04.001-1: RESIDENTIAL LOW DENSITY ZONES DIMENSIONS					
					
		R-7.5	R-10	R-15	Comments/Additional Standards
<p>[5] Maximum base height across the site shall be established by a flat plane measured at 28 ft. (R-7.5 zone) or 30 ft. (R-10 zone) above the highest point of the natural grade within the building envelope, except that in no case shall the base height be greater than 32 ft. (R-7.5 zone) or 34 ft. (R-10 zone) above the natural grade. See Figure 50.04.001-A: Height Adjustment for Sloping Topography.</p> <p>[6] Building height exceptions shall not exceed the building height of the primary structure.</p>					

[Cross-References: Height Limitation: see Charter Section 46A for 50 ft. Maximum Height of Structures in Residential Areas; Height Measure: see LOC 50.04.003.4, General Exception to Structure Height Limitations.]

**Figure 50.04.001-A: Height Adjustment for Sloping Topography**



**b. Density – Additional Standards**

There are no additional standards for density in this section.

**c. Lot Dimensions – Additional Standards**

There are no additional standards for lot dimensions in this section.

**d. Floor Area – Additional Standards**

**i. Floor Area of Garages and Accessory Structures**

**(1) Garage and Accessory Structures Included in Calculation**

For purposes of calculating maximum floor area for dwellings in the R-7.5, R-10, and R-15 zones, the floor area of garages and accessory structures shall be included in the total that is subject to the maximum floor area standard of this section.

**(2) Exceptions**

Habitable areas of detached accessory structures that would normally be counted as floor area shall be exempt from floor area calculations:

- (a)** For lots less than or equal to 10,000 sq. ft. in area – up to 200 sq. ft.
- (b)** For lots greater than 10,000 sq. ft. in area – up to 400 sq. ft.

**ii. Maximum Floor Area of Accessory Structures**

An accessory structure ≤ 18 ft. in height shall not exceed a total 800 sq. ft. in size, or the square footage of the footprint of the primary structure, whichever is less. An accessory structure > 18 ft. in height shall not exceed a total 600 sq. ft. in size or the square footage of the footprint of the primary structure, whichever is less.

**iii. Maximum Floor Area of Nonresidential Structures**

Maximum floor area for uses other than residential structures and their accessory structures shall be as follows:

- (1) Conditional uses: Established as part of the conditional use process.
- (2) Other nonresidential uses: No greater than 1:1.

**e. Yard Setback – Additional Standards**

**i. Zero Lot Line Units**

Two lots that have zero lot line units are considered a unified site for the purposes of meeting all required setbacks.

**ii. Planned Development**

Setbacks for a planned development will be determined at the time of review. The maximum setback that can be required is 35 ft.

**iii. Special Setbacks for Steeply Sloped Lots**

On steeply sloped lots the minimum required front yard setback for detached dwellings shall be 18 ft.

**iv. Corner Lots**

Front lot lines on corner lots may face either street. The City Manager shall determine the front lot line after taking into consideration the orientation of structures on the site and nearby lots, the ability to meet setbacks without variances, and physical site or solar access limitations. Street access should be to local streets.

**v. Measurement of Side Yard Setback**

For purposes of this section, the width of the side yard setback shall be measured from that portion of the side property line that is nearest to any portion of the structure to that portion of the structure.

**vi. Common Party Walls Prohibited – Accessory Structures**

Except for boathouses within the Oswego Lake setback, accessory structures on abutting lots may not be built with common party walls.

**f. Lot Coverage – Standards**

**i. Maximum Lot Coverage**

Maximum lot coverage for the R-7.5, R-10, and R-15 districts shall be as follows:

TABLE 50.04.001-2: RESIDENTIAL LOW DENSITY LOT COVERAGES			
Height (ft.) of primary structure	Maximum Lot Coverage (%)		
	R-7.5	R-10	R-15
22 or less	35	35	35

TABLE 50.04.001-2: RESIDENTIAL LOW DENSITY LOT COVERAGES			
Height (ft.) of primary structure	Maximum Lot Coverage (%)		
	R-7.5	R-10	R-15
>22 to 23	33	34	34
>23 to 24	30	32	33
>24 to 25	28	30	32
>25 to 26	25	28	30
>26 to 27	25	27	29
>27 to 28	25	25	28
>28 to 29	25	25	27
>29 to 30	25	25	25
>30 to 31	25	25	25
>31 to 32	25	25	25
>32 to 33	25	25	25
>33 to 34	25	25	25
>34	25	25	25

**ii. Special Requirements for Schools**

- (1) Lot coverage shall not exceed 30% for a school built to accommodate at least 100 students and that has at least two grades within the range of K-12;
- (2) Lot coverage shall not exceed 30% for a mixed use development that includes a school built to accommodate at least 100 students and that has at least two grades within the range of K-12;

**iii. Garage Footprint Exemption**

The garage footprint, including any area directly above or below the garage, shall be exempt from lot coverage as provided below:

- (1) Up to a cumulative maximum of 200 sq. ft. shall be exempt for garages that are:
  - (a) Rear- or side-loading, or
  - (b) Located 20 ft. or more back from the closest point of the dwelling to the front lot line, or
  - (c) In the case of corner lots, 20 ft. or more back from the closest point of the dwelling to the front and street side lot lines.
- (2) Up to a cumulative maximum of 400 sq. ft. shall be exempt for a detached garage that meets subsection 1.f.iii(1) of this section, and the lot is greater than 10,000 sq. ft. in area.

**g. Height – Additional Standards**

A greater height than otherwise permitted is allowed for:

**i. Single-Family Dwellings**

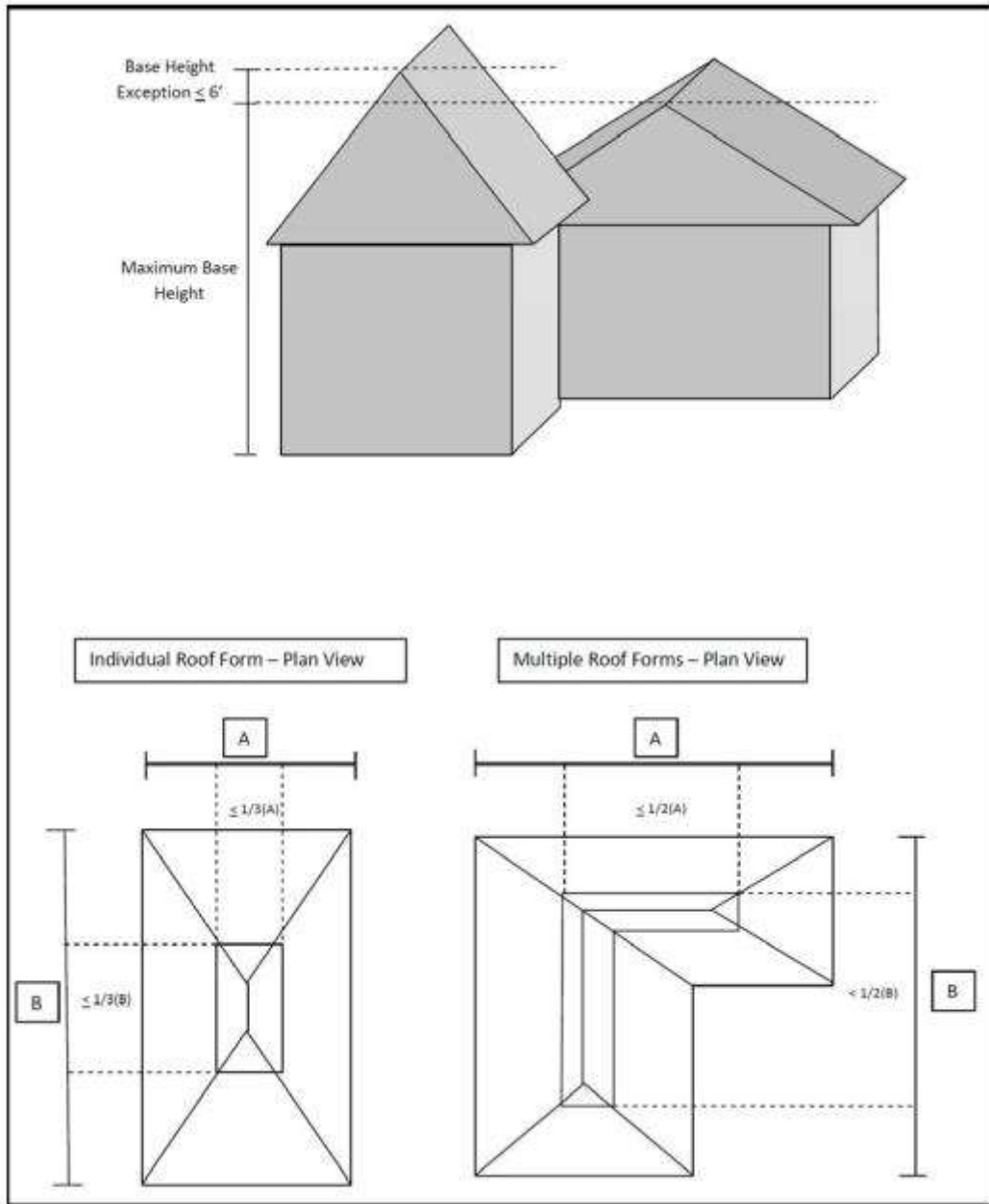
Base building height may be increased by one ft. for every five additional ft. in yard setback on all sides, beyond the minimum code standards provided in Table 50.04.001-1 above.

**ii. Any Structure**

Roof forms or architectural features (such as cupolas or dormers) of any structure provided that these roof forms or features:

- (1) Do not extend more than six ft. above the maximum specified base height;
- (2) Do not, in total, exceed one-third of the width of the building or buildings as measured on any elevation drawing for an individual roof form or projection or do not exceed one-half of the width of the building for two or more separate roof forms or projections; and
- (3) Do not, in total, cover more than 20% of the roof area on which they are located as viewed from directly above for an individual roof form or projection or 30% for multiple roof forms or projections. Examples of permitted exceptions are illustrated in Figure 50.04.001-B: Height Exceptions.

**Figure 50.04.001-B: Height Exceptions**



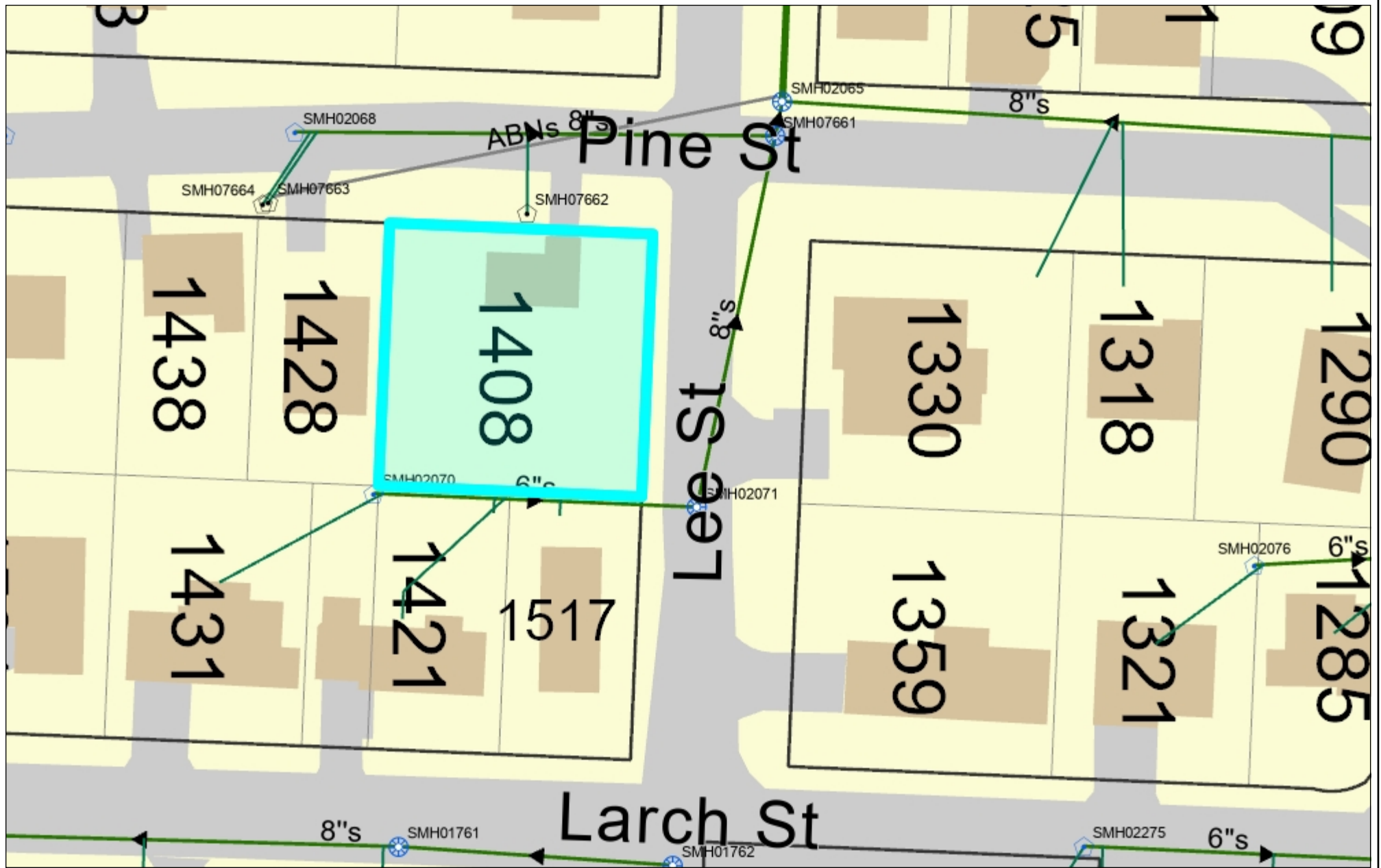
[**Cross-References:** Height Limitation: see Charter Section 46A for 50 ft. Maximum Height of Structures in Residential Areas; Height Measure: see LOC 50.04.003.4, General Exception to Structure Height Limitations.]

(Ord. 2732, Amended, 02/21/2017; Ord. 2612-A, Amended, 05/21/2013; Ord. 2526, Amended, 12/18/2012; Ord. 2579, Repealed and Replaced, 03/20/2012)

2.



# Sewer Map



100.0 0 50.00 100.0 Feet

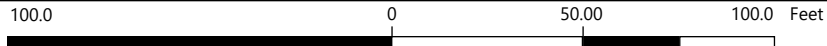
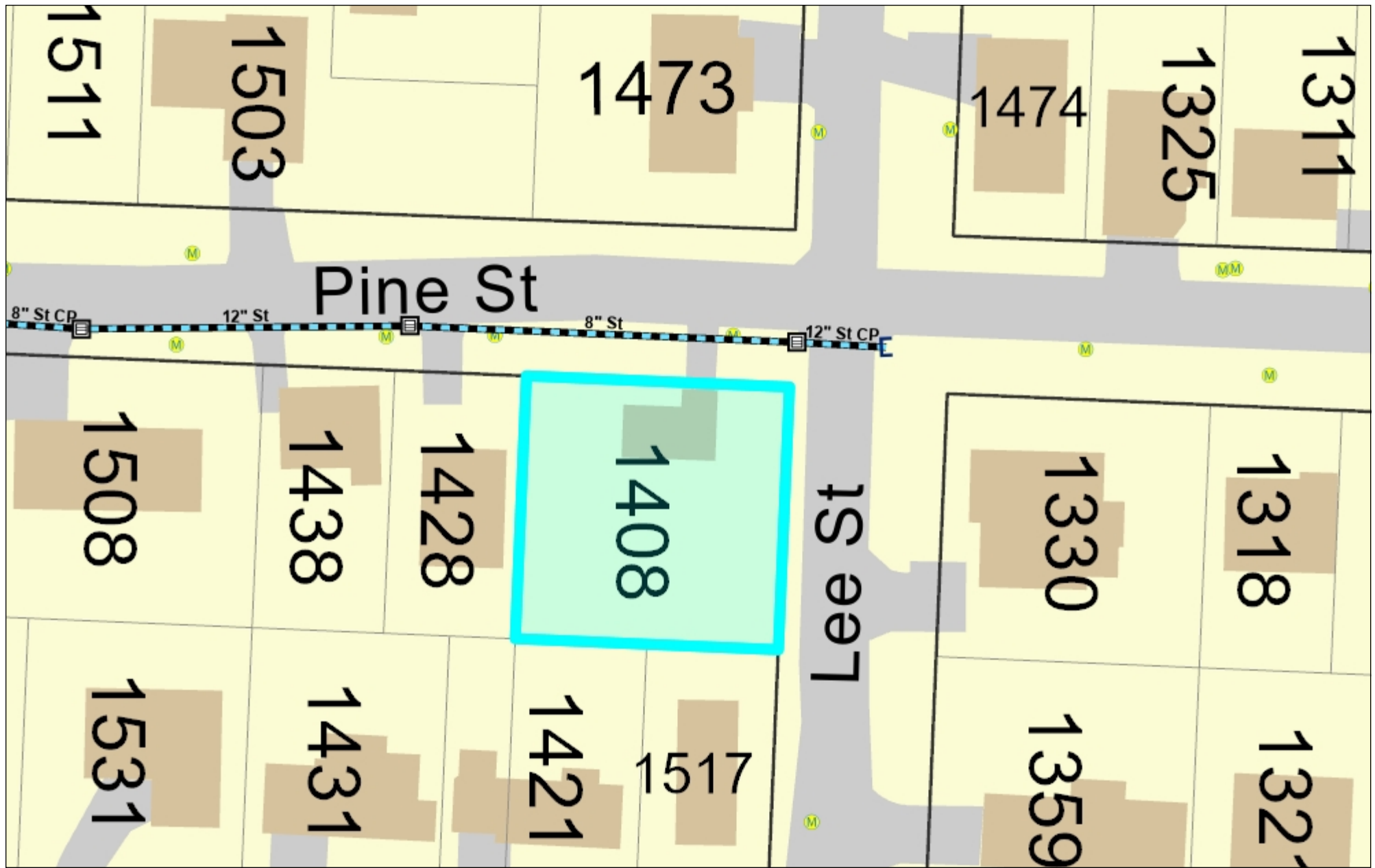
3/27/2026



This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. Users of this information should review, or consult, the primary data and information sources to ascertain the usability of the information. This map represents the best data available at the time of publication. While reasonable effort has been made to insure the accuracy of the information shown on this page, the City of Lake Oswego assumes no responsibility, or liability, for any errors, omissions or use of this information.



Water



3/27/2026



This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. Users of this information should review, or consult, the primary data and information sources to ascertain the usability of the information. This map represents the best data available at the time of publication. While reasonable effort has been made to insure the accuracy of the information shown on this page, the City of Lake Oswego assumes no responsibility, or liability, for any errors, omissions or use of this information.