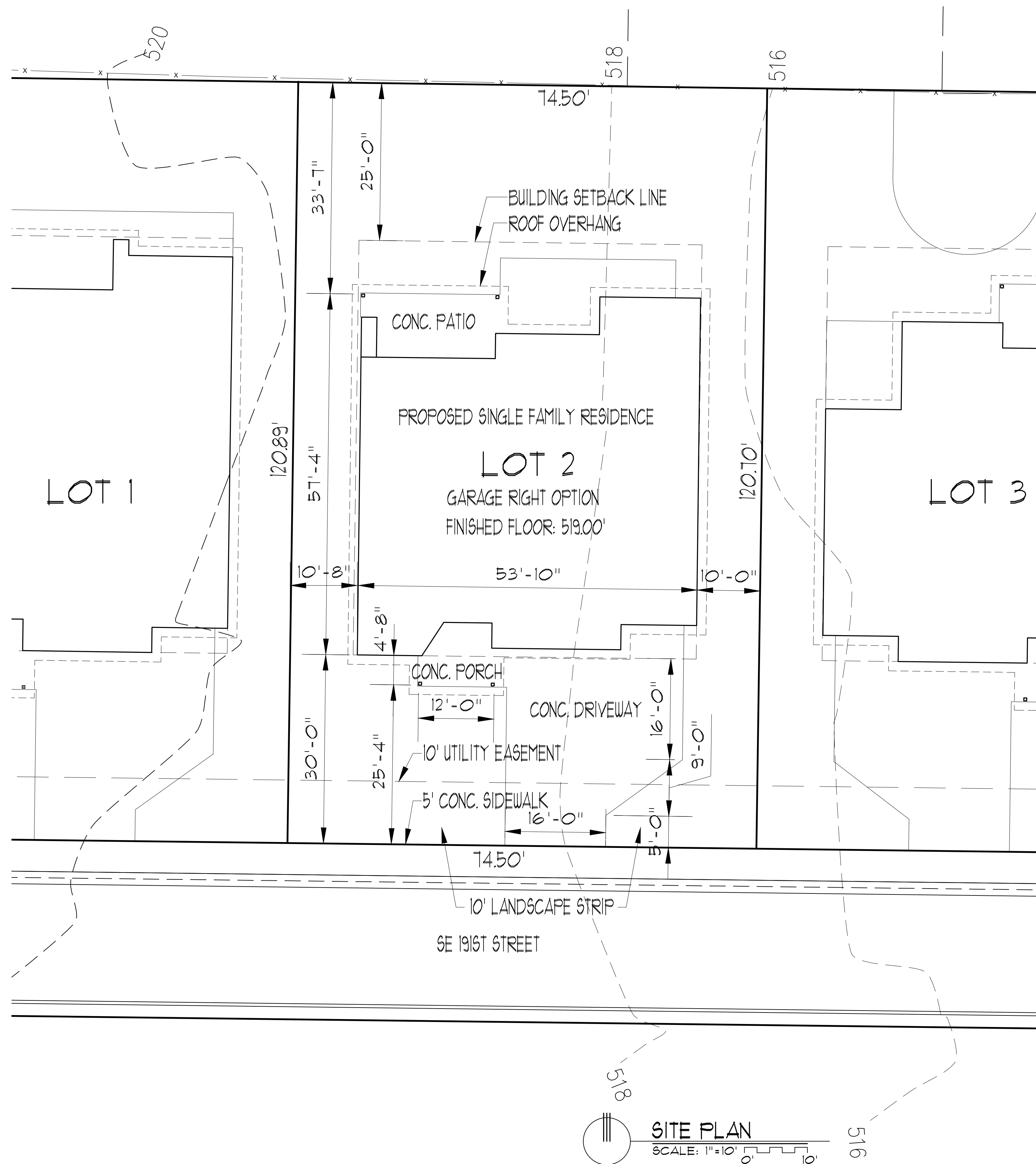


# SINGLE FAMILY RESIDENCE, LOTS 2,4,6 OF WANG SHORT PLAT 19016 116TH AVE SE, RENTON, WASHINGTON 98058



## PROJECT DATA

**BUILDING CODE:** 2018 IRC  
**OCCUPANCY:** R-3, SINGLE FAMILY RESIDENCE  
**CONSTRUCTION:** VB  
 NOT SPRINKLERED  
**ZONING:** R-4  
**ADDRESS:** 1916 116TH AVENUE SE  
 RENTON, WASHINGTON 98058  
**PARCEL NO.:**  
**LOT AREA:** 9,002 SF.  
**FLOOR AREA:**  
 UPPER FLOOR: 1311 SF.  
 MAIN FLOOR: 1881 SF.  
 TOTAL LIVING AREA: 3,204 SF.  
 GARAGE: 745 SF.  
 TOTAL BUILDING AREA: 3,949 SF.  
 FRONT PORCH: 101 SF.  
 COVERED PATIO: 222 SF.

**BUILDING LOT COVERAGE:** 2,632 SF. / 9,002 SF. = 29.3%  
**IMPERVIOUS ROOF AREA:** 3,330 SF.  
**IMPERVIOUS PAVING AREA:** 962 SF.  
**TOTAL IMPERVIOUS AREA ON SITE:** 4,292 SF.  
**IMPERVIOUS AREA LOT COVERAGE:** 4,292 SF. / 9,002 SF. = 47.7%

**LEGAL DESCRIPTION OF SITE BEFORE**  
 SUBDIVIDING INTO LOTS.

LOT 6, BLOCK 1, NORTHWESTERN GARDEN TRACTS, DIVISION NO. 4, ACCORDING TO THE FLAT THEREOF, RECORDED IN VOLUME 41 OF PLATS, PAGE 14, IN KING COUNTY, WASHINGTON.

EXCEPT THE EAST 30 FEET THEREOF

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

## DRAWING INDEX

- A11 SITE PLAN
- A21 MAIN FLOOR PLAN & AIR BARRIER NOTES
- A22 UPPER FLOOR PLAN
- A23 REFLECTED CEILING PLANS
- A24 FOUNDATION PLAN & UPPER FLOOR FRAMING PLAN
- A25 ROOF FRAMING PLAN & ROOF PLAN
- A31 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A33 BUILDING SECTION
- A41 BUILDING SECTIONS
- A42 DETAILS
- A43 DETAILS
- A44 DETAILS
- S01 STRUCTURAL NOTES
- S02 STRUCTURAL NOTES

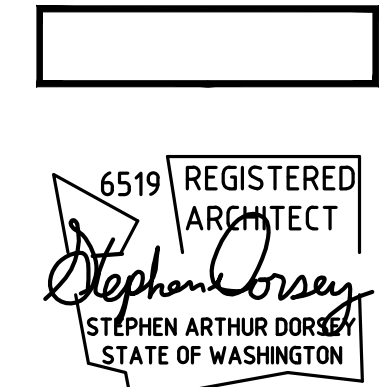
**ENERGY CODE NOTES**  
 ENERGY CODE: 2018 WSEC  
 HEAT TYPE: AIR TO AIR HEAT PUMP  
 WATER HEATER TYPE: NATURAL GAS WATER HEATER  
 INSTALL INSULATION SO THAT MFR'S R-VALUE LABELS ARE OBSERVABLE ON INSPECTION.  
 PENETRATION PRODUCTS TO BE LABELED WITH U-VALUE, SHGC, VT, & LEAKAGE RATING.  
 ENERGY CODE CREDITS TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS HOUSE.  
 6.0 CREDITS REQUIRED:  
 HEATING OPTION 4 (0.5 CREDIT)  
 DHP WITH ZONAL ELECTRIC RESISTANCE PER OPTION 3.4  
 EFFICIENT BUILDING ENVELOPE OPTION 12 (1.0 CREDIT)  
 PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS: VERTICAL PENETRATION U=0.20  
 AIR LEAKAGE CONTROL & EFFICIENT VENTILATION OPTION 2.2 (1.0 CREDIT) TEST AT 2.0 AIR CHANGES PER HOUR AT 50 PASCALS.  
 HIGH EFFICIENCY HVAC EQUIPMENT OPTION 3.4 (1.5 CREDIT)  
 DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM, ZONAL CONTROL. IN HOMES WHERE THE PRIMARY SPACE HEATING SYSTEM IS ZONAL ELECTRIC HEATING, A DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM WITH A MINIMUM HSPFF OF 10.0 SHALL BE INSTALLED AND PROVIDE HEATING TO THE LARGEST ZONE OF THE HOUSING UNIT.  
 EFFICIENT WATER HEATING OPTION 5.4 (1.5 CREDIT)  
 WATER HEATING SYSTEM SHALL INCLUDE ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER 1 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION  
 APPLIANCE PACKAGE OPTION 11 (0.5 CREDIT)  
 ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:  
 DISHWASHER - ENERGY STAR RATED  
 REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED  
 WASHING MACHINE - ENERGY STAR RATED  
 DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH A MINIMUM CEF RATING OF 5.2.  
 TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SHOW THE APPLIANCE TYPE AND PROVIDE DOCUMENTATION OF ENERGY STAR COMPLIANCE. AT THE TIME OF INSPECTION, ALL APPLIANCES SHALL BE INSTALLED AND CONNECTED TO UTILITIES. DRYER DUCTS AND EXTERIOR DRYER VENT CAPS ARE NOT PERMITTED TO BE INSTALLED IN THE DWELLING UNIT.

**ENERGY CODE NOTES CONTINUED:**  
 R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT, UNITARY AIR COOLED HEAT PUMPS SHALL INCLUDE CONTROLS THAT MINIMIZE SUPPLEMENTAL HEAT USAGE DURING START-UP, SET-UP, AND DEFROST CONDITIONS. THESE CONTROLS SHALL ANTICIPATE NEED FOR HEAT AND USE COMPRESSION HEATING AS THE FIRST STAGE OF HEAT. CONTROLS SHALL INDICATE WHEN SUPPLEMENTAL HEATING IS BEING USED THROUGH VISUAL MEANS (E.G., LED INDICATORS). HEAT PUMPS EQUIPPED WITH SUPPLEMENTARY HEATERS SHALL BE INSTALLED WITH CONTROLS THAT PREVENT SUPPLEMENTAL HEATER OPERATION ABOVE 40°F. AT FINAL INSPECTION THE AUXILIARY HEAT LOCK OUT CONTROL SHALL BE SET TO 35°F OR LESS.  
 R403.5.3 INSULATE HOT WATER PIPING TO R-3 MIN.  
 SEE AIR BARRIER NOTES FOR AIR BARRIER CONSTRUCTION OF HOUSE. TESTED AIR LEAKAGE TO BE 2.0 AIR CHANGES PER HOUR MAX. AT 50 PASCALS.  
 HVAC EQUIPMENT PER ENERGY CODE OPTION 3.4:  
 MINI-SPLIT HEAT PUMP SYSTEM WITH HSPFF=10.0 MIN.  
 MAIN FLOOR OUTDOOR UNIT: DAIKIN 3MX524RTVJUA (HSPFF=12.5)  
 UPPER FLOOR OUTDOOR UNIT: DAIKIN 4MX536RTVJUA (HSPFF=12.2)  
 LIVING ROOM INDOOR UNIT: DAIKIN FTXS09LVJU  
 FAMILY, DINING INDOOR UNIT: DAIKIN FTXS12  
 MASTER BEDROOM INDOOR UNIT: DAIKIN CTX90TLVJU  
 BEDROOM 2, 3, 4, & 5 INDOOR UNIT: DAIKIN CTX20T  
 ELECTRIC HEAT PUMP WATER HEATER, TIER 1 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION:

Stephen Dorsey, AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253)845-5106

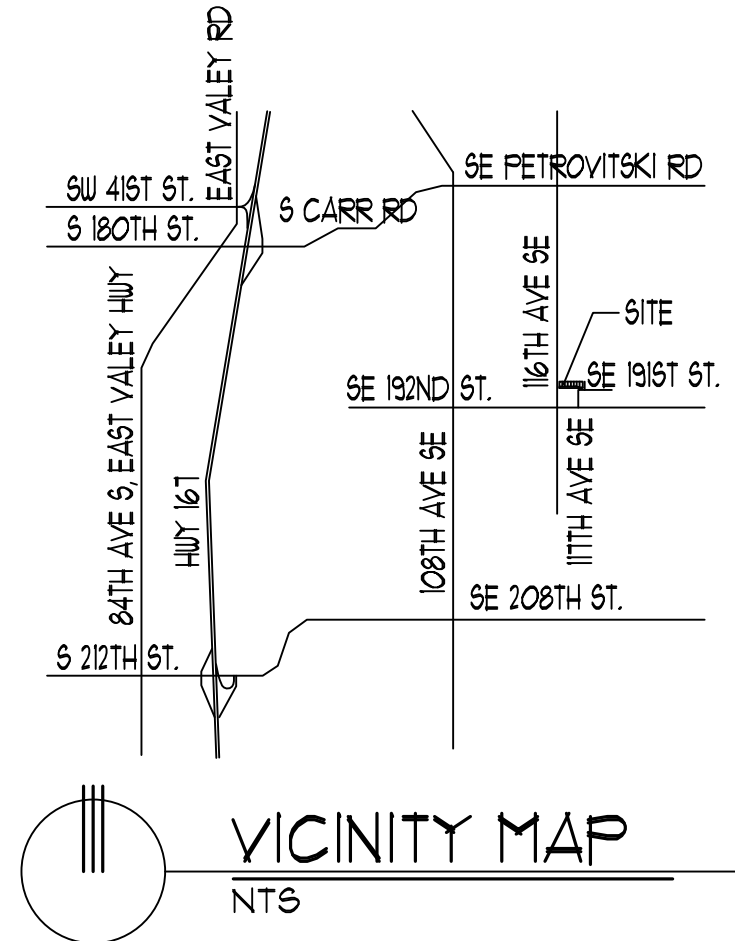


SINGLE FAMILY RESIDENCE  
 LOTS 2,4,6 OF WANG SHORT PLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058



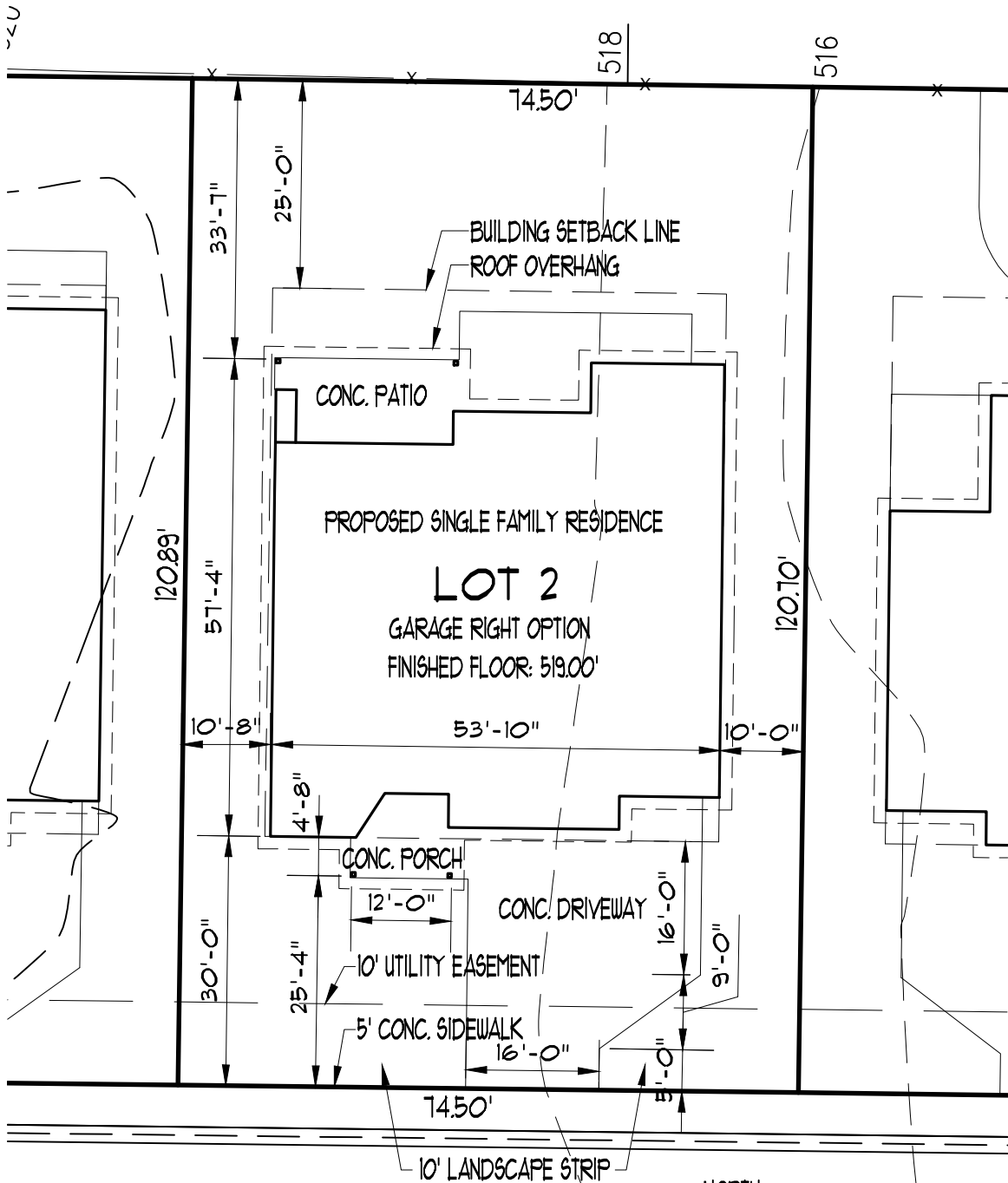
REVISION

LOT 2 SITE PLAN



DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

A11



## PROJECT DATA

BUILDING CODE: 2018 IRC  
 OCCUPANCY: R-3, SINGLE FAMILY RESIDENCE

CONSTRUCTION: VB  
 NOT SPRINKLERED

ZONING: R-4  
 ADDRESS: 116XX 91ST STREET SE  
 RENTON, WASHINGTON 98058  
 PARCEL NO.:  
 LOT AREA: 9,002 SF.  
 FLOOR AREA:

UPPER FLOOR: 1311 SF.  
 MAIN FLOOR: 1881 SF.  
 TOTAL LIVING AREA: 3,204 SF.  
 GARAGE: 145 SF.  
 TOTAL BUILDING AREA: 3,949 SF.  
 FRONT PORCH: 101 SF.  
 COVERED PATIO: 222 SF.

BUILDING LOT COVERAGE: 2632 SF. / 9,002 SF. = 29.3%  
 IMPERVIOUS ROOF AREA: 3330 SF.  
 IMPERVIOUS PAVING AREA: 962 SF.  
 TOTAL IMPERVIOUS AREA ON SITE: 4292 SF.  
 IMPERVIOUS AREA LOT COVERAGE: 4292 SF. / 9,002 SF. = 47.1%

LEGAL DESCRIPTION OF SITE BEFORE SUBDIVIDING INTO LOTS.  
 LOT 6, BLOCK 1, NORTHWESTERN GARDEN TRACTS, DIVISION NO.  
 4, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME  
 47 OF PLATS, PAGE 74, IN KING COUNTY, WASHINGTON; EXCEPT  
 THE EAST 30 FEET THEREOF SITUATE IN THE COUNTY OF KING,  
 STATE OF WASHINGTON.

NORTH



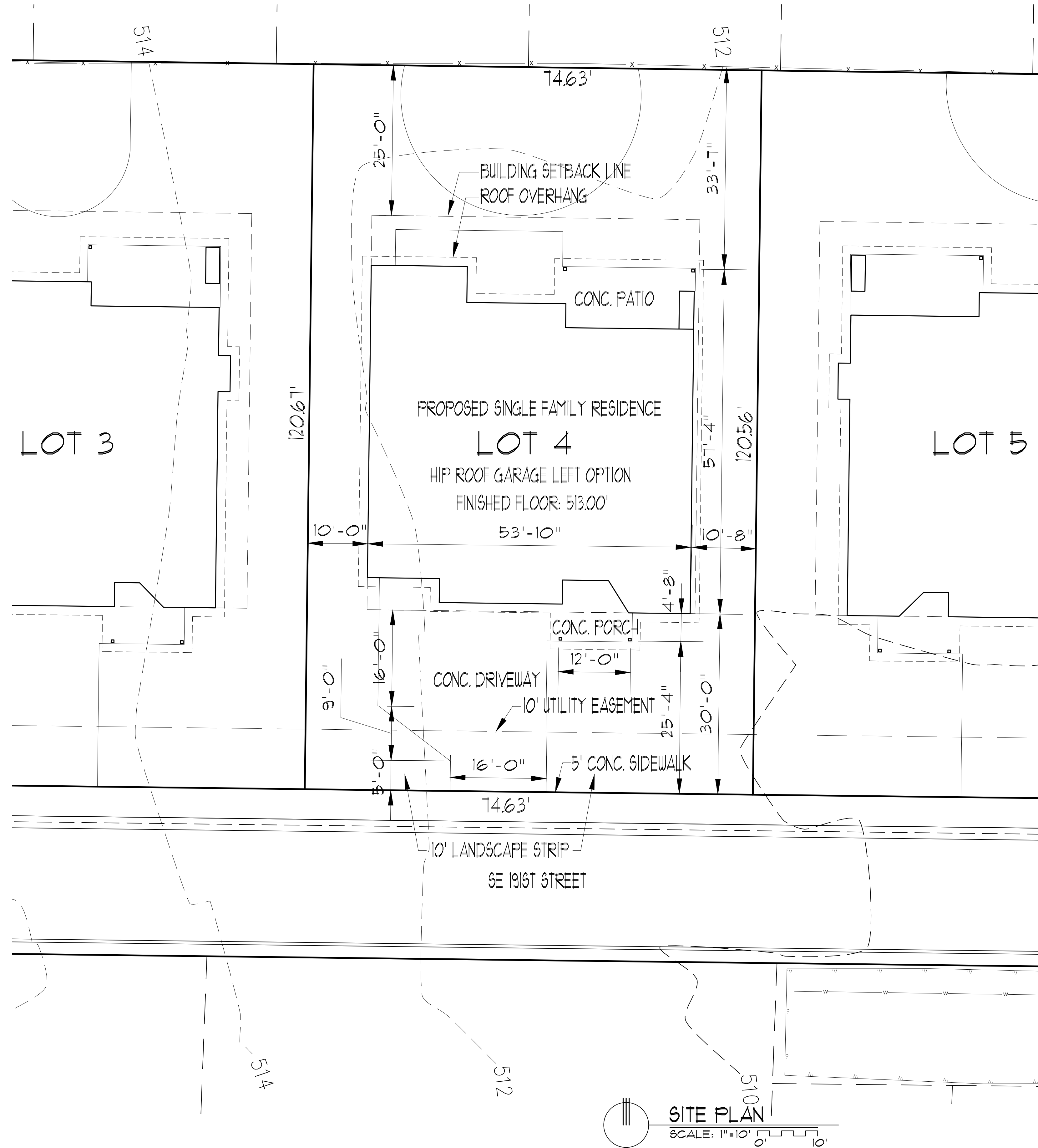
## SITE PLAN

SCALE: 1"=20'

SCOPE OF WORK: ANAIYAH HOMES LLC  
 TO CONSTRUCT SINGLE FAMILY  
 RESIDENCE ON VACANT SITE. PROVIDE  
 DRIVEWAY & SIDEWALKS  
 PER SITE PLAN. PROVIDE  
 UTILITIES & STORM WATER TREATMENT  
 PER CIVIL DRAWINGS.

DRAWN BY:  
 STEPHEN DORSEY AIA ARCHITECT  
 734 - 23RD ST. SW, PUYALLUP, WA 98371  
 TEL: (253)845-5106  
 DATE: 29 JAN. 2019  
 SHEET A11B

# SINGLE FAMILY RESIDENCE, LOTS 2,4,&6 OF WANG SHORT PLAT 19016 116TH AVE SE, RENTON, WASHINGTON 98058



**SITE PLAN**  
SCALE: 1"=10'

## PROJECT DATA

BUILDING CODE: 2018 IRC  
 OCCUPANCY: R-3, SINGLE FAMILY RESIDENCE  
 CONSTRUCTION: VB  
 NOT SPRINKLERED  
 ZONING: R-4  
 ADDRESS: 1916 116TH AVENUE SE  
 RENTON, WASHINGTON 98058  
 PARCEL NO:  
 LOT AREA: 9,002 SF.  
 FLOOR AREA:  
 UPPER FLOOR: 1311 SF.  
 MAIN FLOOR: 1881 SF.  
 TOTAL LIVING AREA: 3,204 SF.  
 GARAGE: 745 SF.  
 TOTAL BUILDING AREA: 3,949 SF.  
 FRONT PORCH: 101 SF.  
 COVERED PATIO: 222 SF.  
 BUILDING LOT COVERAGE: 2,632 SF. / 9,002 SF. = 29.3%  
 IMPERVIOUS ROOF AREA: 3,330 SF.  
 IMPERVIOUS PAVING AREA: 962 SF.  
 TOTAL IMPERVIOUS AREA ON SITE: 4,292 SF.  
 IMPERVIOUS AREA LOT COVERAGE: 4,292 SF. / 9,002 SF. = 47.7%

LEGAL DESCRIPTION OF SITE BEFORE  
 SUBDIVIDING INTO LOTS.

LOT 6, BLOCK 1, NORTHWESTERN GARDEN  
 TRACTS, DIVISION NO. 4, ACCORDING TO THE  
 PLAT THEREOF, RECORDED IN VOLUME 41 OF  
 PLATS, PAGE 74, IN KING COUNTY, WASHINGTON;

EXCEPT THE EAST 30 FEET THEREOF

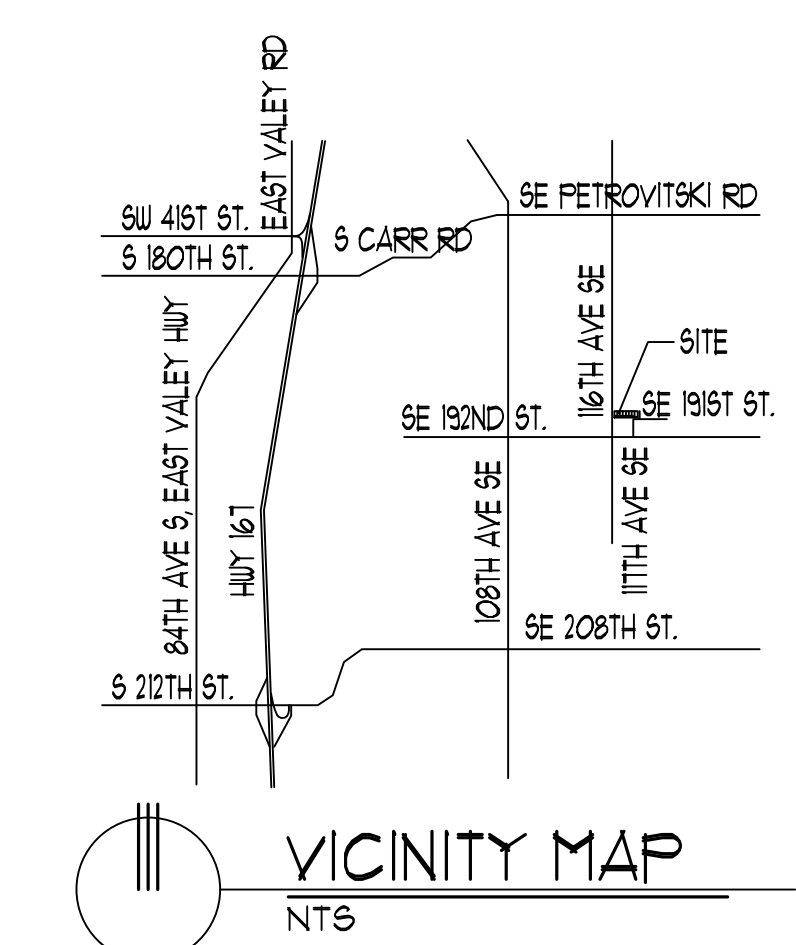
SITUATE IN THE COUNTY OF KING, STATE OF  
 WASHINGTON.

## DRAWING INDEX

- A11 SITE PLAN
- A21 MAIN FLOOR PLAN & AIR BARRIER NOTES
- A22 UPPER FLOOR PLAN
- A23 REFLECTED CEILING PLANS
- A24 FOUNDATION PLAN & UPPER FLOOR FRAMING PLAN
- A25 ROOF FRAMING PLAN & ROOF PLAN
- A31 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A33 BUILDING SECTION
- A41 BUILDING SECTIONS
- A42 DETAILS
- A43 DETAILS
- A44 DETAILS
- S01 STRUCTURAL NOTES
- S02 STRUCTURAL NOTES

**ENERGY CODE NOTES**  
 ENERGY CODE: 2018 WSEC  
 HEAT TYPE: AIR TO AIR HEAT PUMP  
 WATER HEATER TYPE: NATURAL GAS WATER HEATER  
 INSTALL INSULATION SO THAT MFR'S R-VALUE LABELS ARE OBSERVABLE ON INSPECTION.  
 FENESTRATION PRODUCTS TO BE LABELED WITH U-VALUE, SHGC, VT, & LEAKAGE RATING.  
 ENERGY CODE CREDITS TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS HOUSE.  
 6.0 CREDITS REQUIRED:  
 HEATING OPTION 4 (0.5 CREDIT)  
 DHP WITH ZONAL ELECTRIC RESISTANCE PER OPTION 3.4  
 EFFICIENT BUILDING ENVELOPE OPTION 12 (1.0 CREDIT)  
 PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING  
 MODIFICATIONS: VERTICAL FENESTRATION U-0.20  
 AIR LEAKAGE CONTROL & EFFICIENT VENTILATION OPTION 2.2  
 (1.0 CREDIT) TEST AT 2.0 AIR CHANGES PER HOUR AT 50 PASCALS.  
 HIGH EFFICIENCY HVAC EQUIPMENT OPTION 3.4 (1.5 CREDIT)  
 DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM ZONAL CONTROL: IN HOMES WHERE THE PRIMARY  
 SPACE HEATING SYSTEM IS ZONAL ELECTRIC HEATING, A DUCTLESS MINI-SPLIT HEAT PUMP  
 SYSTEM WITH A MINIMUM HSEFF OF 10.0 SHALL BE INSTALLED AND PROVIDE HEATING TO THE  
 LARGEST ZONE OF THE HOUSING UNIT.  
 EFFICIENT WATER HEATING OPTION 5.4 (1.5 CREDIT)  
 WATER HEATING SYSTEM SHALL INCLUDE ELECTRIC HEAT PUMP WATER HEATER MEETING THE  
 STANDARDS FOR TIER 1 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION  
 APPLIANCE PACKAGE OPTION 11 (0.5 CREDIT)  
 ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL  
 MEET THE FOLLOWING STANDARDS:  
 DISHWASHER - ENERGY STAR RATED  
 REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED  
 WASHING MACHINE - ENERGY STAR RATED  
 DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH A MINIMUM CEF RATING OF 5.2.  
 TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION  
 BEING SELECTED AND SHALL SHOW THE APPLIANCE TYPE AND PROVIDE DOCUMENTATION OF ENERGY  
 STAR COMPLIANCE. AT THE TIME OF INSPECTION, ALL APPLIANCES SHALL BE INSTALLED AND  
 CONNECTED TO UTILITIES. DRYER DUCTS AND EXTERIOR DRYER VENT CAPS ARE NOT PERMITTED TO  
 BE INSTALLED IN THE DWELLING UNIT.

**ENERGY CODE NOTES CONTINUED:**  
 R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT. UNITARY AIR COOLED HEAT  
 PUMPS SHALL INCLUDE CONTROLS THAT MINIMIZE SUPPLEMENTAL HEAT  
 USAGE DURING START-UP, SET-UP, AND DEFROST CONDITIONS. THESE  
 CONTROLS SHALL ANTICIPATE NEED FOR HEAT AND USE COMPRESSION  
 HEATING AS THE FIRST STAGE OF HEAT. CONTROLS SHALL INDICATE  
 WHEN SUPPLEMENTAL HEATING IS BEING USED THROUGH VISUAL MEANS  
 (E.G., LED INDICATORS). HEAT PUMPS EQUIPPED WITH SUPPLEMENTARY  
 HEATERS SHALL BE INSTALLED WITH CONTROLS THAT PREVENT  
 SUPPLEMENTAL HEATER OPERATION ABOVE 40°F. AT FINAL INSPECTION  
 THE AUXILIARY HEAT LOCK OUT CONTROL SHALL BE SET TO 35°F OR  
 LESS.  
 R403.5.3 INSULATE HOT WATER PIPING TO R-3 MIN.  
 SEE AIR BARRIER NOTES FOR AIR BARRIER CONSTRUCTION OF  
 HOUSE. TESTED AIR LEAKAGE TO BE 2.0 AIR CHANGES PER  
 HOUR MAX. AT 50 PASCALS.  
 HVAC EQUIPMENT PER ENERGY CODE OPTION 3.4:  
 MINI-SPLIT HEAT PUMP SYSTEM WITH HSEFF=10.0 MIN.  
 MAIN FLOOR OUTDOOR UNIT: DAIKIN 3MXS24R1YJUA (HSEFF=12.5)  
 UPPER FLOOR OUTDOOR UNIT: DAIKIN 4MXS36R1YJUA (HSEFF=12.2)  
 LIVING ROOM INDOOR UNIT: DAIKIN FTXS09LVJU  
 FAMILY, DINING INDOOR UNIT: DAIKIN FTXS12  
 MASTER BEDROOM INDOOR UNIT: DAIKIN CTXS01LVJU  
 BEDROOM 2, 3, 4, & 5 INDOOR UNIT: DAIKIN CTX20T  
 ELECTRIC HEAT PUMP WATER HEATER, TIER 1 OF NEEA'S  
 ADVANCED WATER HEATING SPECIFICATION.



**VICINITY MAP**  
NTS

Stephen Dorsey AIA  
 Architect  
 734 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 2,4,&6 OF WANG SHORT PLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

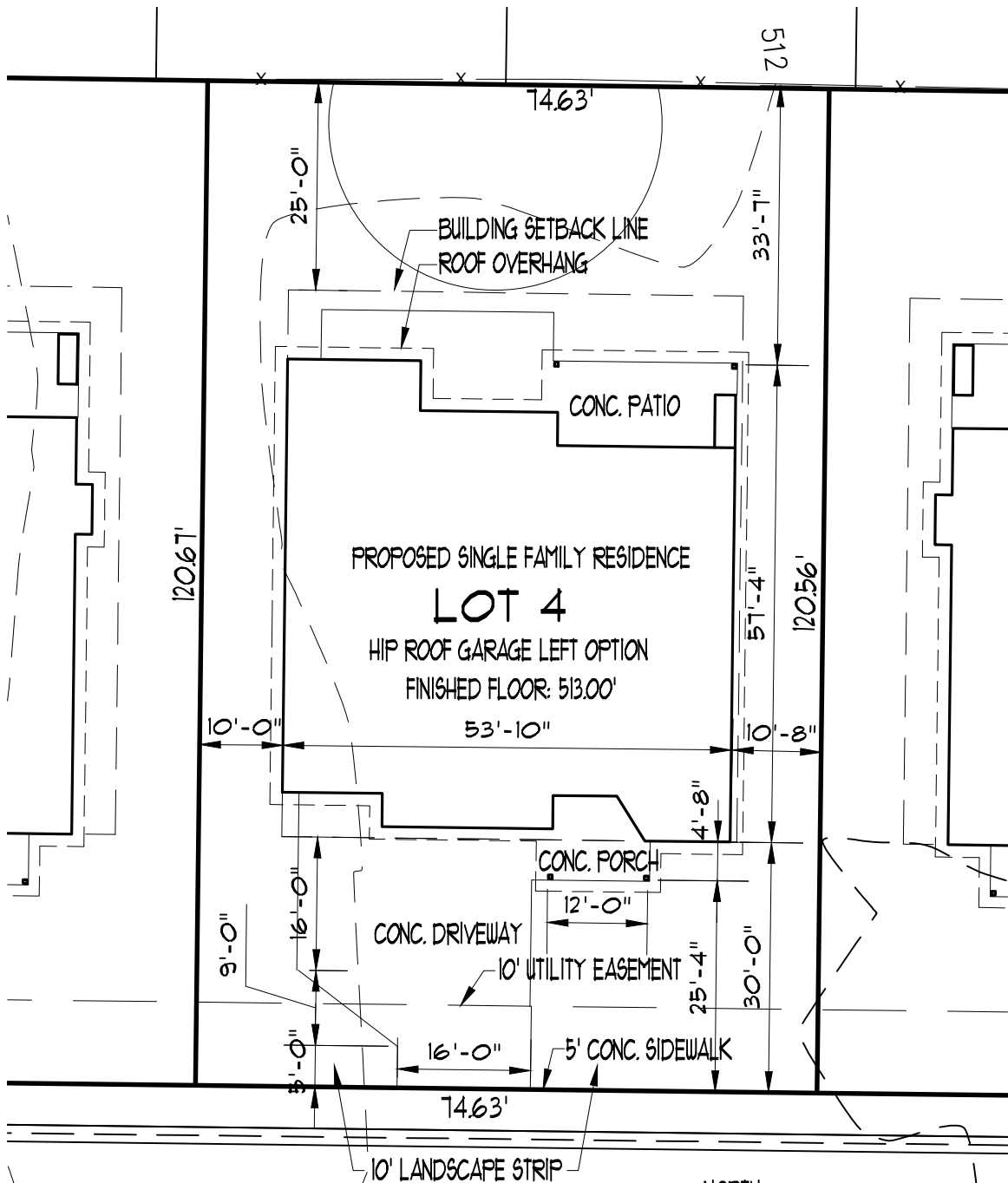


LOT 4 SITE PLAN

REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

A1.1



## PROJECT DATA

BUILDING CODE: 2018 IRC  
 OCCUPANCY: R-3, SINGLE FAMILY RESIDENCE  
 CONSTRUCTION: VB  
 NOT SPRINKLERED  
 ZONING: R-4  
 ADDRESS: 116XX 91ST STREET SE  
 RENTON, WASHINGTON 98058  
 PARCEL NO.:  
 LOT AREA: 9,002 SF.  
 FLOOR AREA:  
 UPPER FLOOR: 1311 SF.  
 MAIN FLOOR: 1881 SF.  
 TOTAL LIVING AREA: 3,204 SF.  
 GARAGE: 145 SF.  
 TOTAL BUILDING AREA: 3,949 SF.  
 FRONT PORCH: 101 SF.  
 COVERED PATIO: 222 SF.

BUILDING LOT COVERAGE: 2632 SF. / 9,002 SF. = 29.3%  
 IMPERVIOUS ROOF AREA: 3330 SF.  
 IMPERVIOUS PAVING AREA: 962 SF.  
 TOTAL IMPERVIOUS AREA ON SITE: 4292 SF.  
 IMPERVIOUS AREA LOT COVERAGE: 4292 SF. / 9,002 SF. = 47.1%

LEGAL DESCRIPTION OF SITE BEFORE SUBDIVIDING INTO LOTS.  
 LOT 6, BLOCK 1, NORTHWESTERN GARDEN TRACTS, DIVISION NO.  
 4, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME  
 47 OF PLATS, PAGE 14, IN KING COUNTY, WASHINGTON; EXCEPT  
 THE EAST 30 FEET THEREOF SITUATE IN THE COUNTY OF KING,  
 STATE OF WASHINGTON.

NORTH



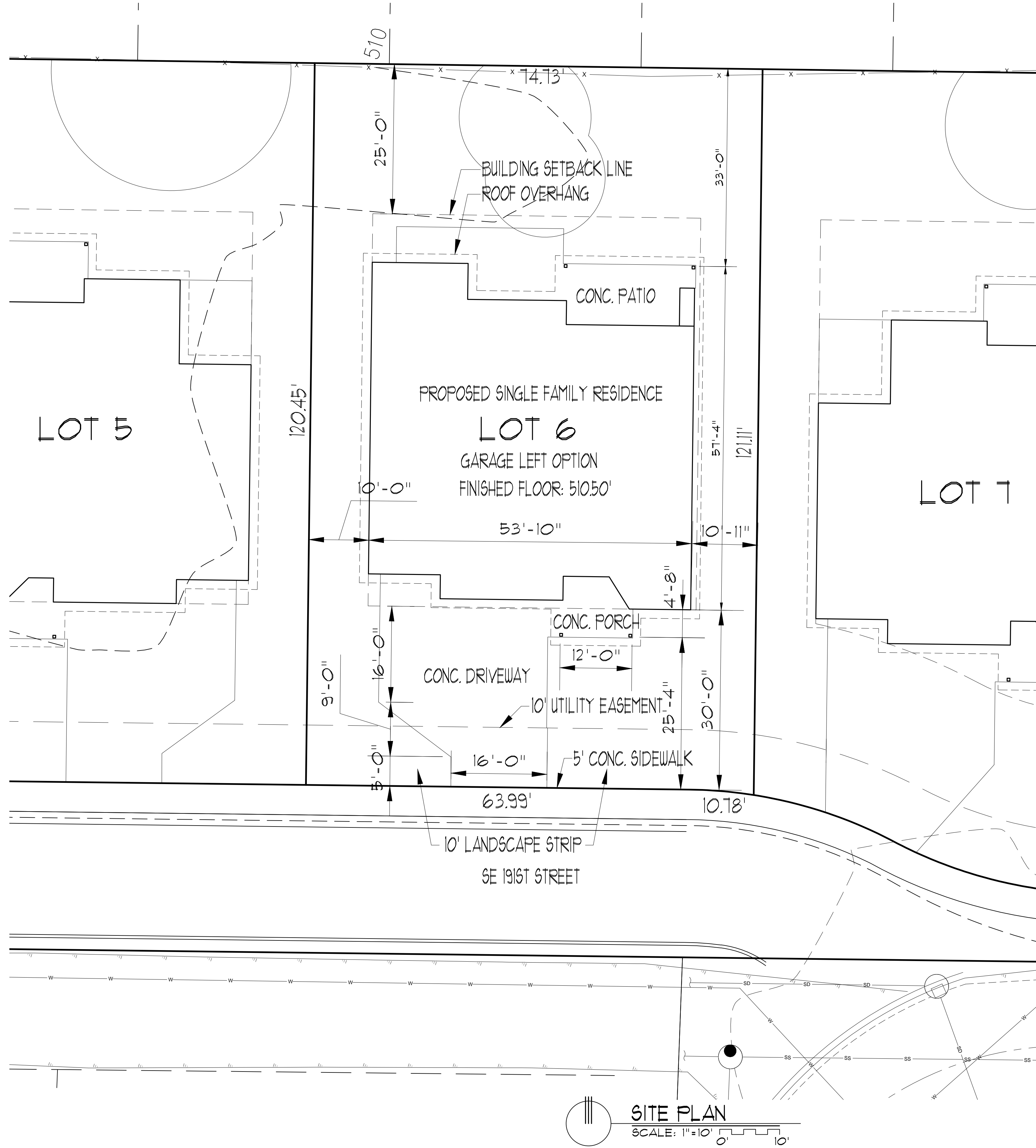
## SITE PLAN

SCALE: 1"=20'

SCOPE OF WORK: ANAIYAH HOMES LLC  
 TO CONSTRUCT SINGLE FAMILY  
 RESIDENCE ON VACANT SITE. PROVIDE  
 DRIVEWAY & SIDEWALKS  
 PER SITE PLAN. PROVIDE  
 UTILITIES & STORM WATER TREATMENT  
 PER CIVIL DRAWINGS.

DRAWN BY:  
 STEPHEN DORSEY AIA ARCHITECT  
 734 - 23RD ST. SW, PUYALLUP, WA 98311  
 TEL: (253)845-5106  
 DATE: 29 JAN. 2019  
 SHEET A11B

SINGLE FAMILY RESIDENCE, LOTS 2,4,&6 OF WANG SHORT PLAT  
 19016 116TH AVE SE, RENTON, WASHINGTON 98058



**PROJECT DATA**

BUILDING CODE: 2018 IRC  
 OCCUPANCY: R-3, SINGLE FAMILY RESIDENCE  
 CONSTRUCTION: VB  
 NOT SPRINKLERED  
 ZONING: R-4  
 ADDRESS: 1916 116TH AVENUE SE  
 RENTON, WASHINGTON 98058  
 PARCEL NO:  
 LOT AREA: 9,002 SF.  
 FLOOR AREA:  
 UPPER FLOOR: 1311 SF.  
 MAIN FLOOR: 1881 SF.  
 TOTAL LIVING AREA: 3204 SF.  
 GARAGE: 745 SF.  
 TOTAL BUILDING AREA: 3,949 SF.  
 FRONT PORCH: 101 SF.  
 COVERED PATIO: 222 SF.

BUILDING LOT COVERAGE: 2,632 SF. / 9,002 SF. = 29.3%  
 IMPERVIOUS ROOF AREA: 3,330 SF.  
 IMPERVIOUS PAVING AREA: 362 SF.  
 TOTAL IMPERVIOUS AREA ON SITE: 4,292 SF.  
 IMPERVIOUS AREA LOT COVERAGE: 4,292 SF. / 9,002 SF. = 41.1%

LEGAL DESCRIPTION OF SITE BEFORE  
 SUBDIVIDING INTO LOTS.

LOT 6, BLOCK 1, NORTHWESTERN GARDEN  
 TRACTS, DIVISION NO. 4, ACCORDING TO THE  
 PLAT THEREOF, RECORDED IN VOLUME 41 OF  
 PLATS, PAGE 74, IN KING COUNTY, WASHINGTON.

EXCEPT THE EAST 30 FEET THEREOF

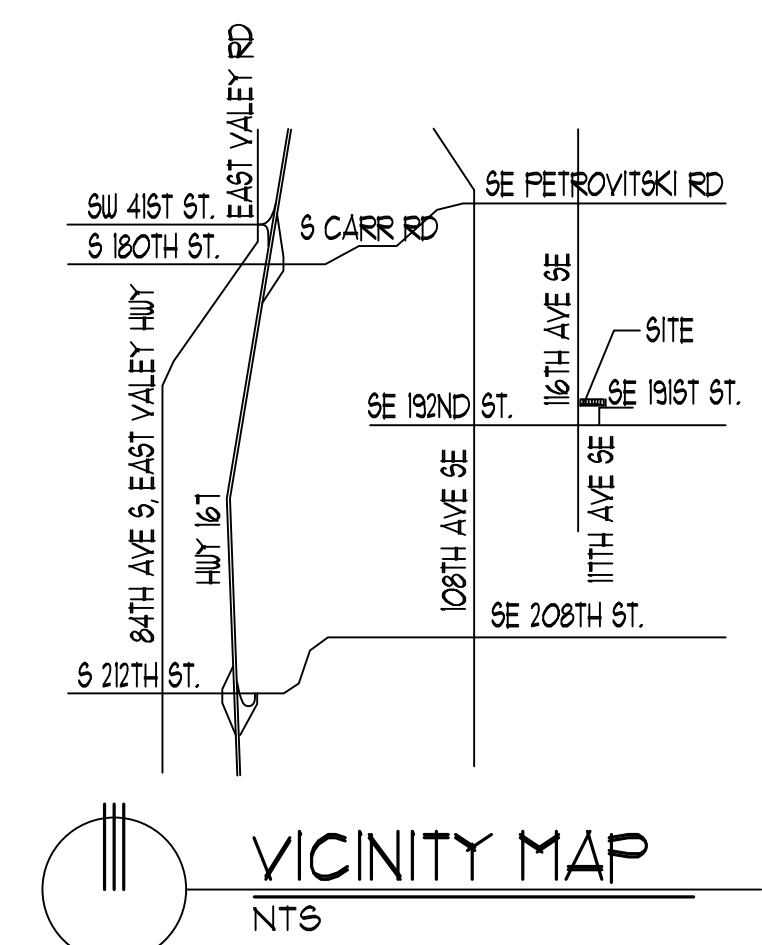
SITUATE IN THE COUNTY OF KING, STATE OF  
 WASHINGTON.

**DRAWING INDEX**

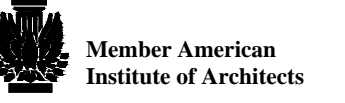
- A11 SITE PLAN
- A21 MAIN FLOOR PLAN & AIR BARRIER NOTES
- A22 UPPER FLOOR PLAN
- A23 REFLECTED CEILING PLANS
- A24 FOUNDATION PLAN & UPPER FLOOR FRAMING PLAN
- A25 ROOF FRAMING PLAN & ROOF PLAN
- A31 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A33 BUILDING SECTION
- A41 BUILDING SECTIONS
- A42 DETAILS
- A43 DETAILS
- A44 DETAILS
- SO1 STRUCTURAL NOTES

**ENERGY CODE NOTES**  
 ENERGY CODE: 2018 WSEC  
 HEAT TYPE: AIR TO AIR HEAT PUMP  
 WATER HEATER TYPE: NATURAL GAS WATER HEATER  
 INSTALL INSULATION SO THAT MFR'S R-VALUE LABELS ARE OBSERVABLE ON INSPECTION.  
 FENESTRATION PRODUCTS TO BE LABELED WITH U-VALUE, SHGC, VT, & LEAKAGE RATING.  
 ENERGY CODE CREDITS TO BE INCORPORATED INTO THE CONSTRUCTION OF THIS HOUSE.  
 6.0 CREDITS REQUIRED:  
 HEATING OPTION 4 (0.5 CREDIT)  
 DHP WITH ZONAL ELECTRIC RESISTANCE PER OPTION 3.4  
 EFFICIENT BUILDING ENVELOPE OPTION 12 (1.0 CREDIT)  
 PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING  
 MODIFICATIONS: VERTICAL FENESTRATION U-0.20  
 AIR LEAKAGE CONTROL & EFFICIENT VENTILATION OPTION 22  
 (1.0 CREDIT) TEST AT 2.0 AIR CHANGES PER HOUR AT 50 PASCALS.  
 HIGH EFFICIENCY HVAC EQUIPMENT OPTION 3.4 (1.5 CREDIT)  
 DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM ZONAL CONTROL: IN HOMES WHERE THE PRIMARY  
 SPACE HEATING SYSTEM IS ZONAL ELECTRIC HEATING, A DUCTLESS MINI-SPLIT HEAT PUMP  
 SYSTEM WITH A MINIMUM HSEFF OF 10.0 SHALL BE INSTALLED AND PROVIDE HEATING TO THE  
 LARGEST ZONE OF THE HOUSING UNIT.  
 EFFICIENT WATER HEATING OPTION 5.4 (1.5 CREDIT)  
 WATER HEATING SYSTEM SHALL INCLUDE ELECTRIC HEAT PUMP WATER HEATER MEETING THE  
 STANDARDS FOR TIER 1 OF NEEA'S ADVANCED WATER HEATING SPECIFICATION  
 APPLIANCE PACKAGE OPTION 7.1 (0.5 CREDIT)  
 ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL  
 MEET THE FOLLOWING STANDARDS:  
 DISHWASHER - ENERGY STAR RATED  
 REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED  
 WASHING MACHINE - ENERGY STAR RATED  
 DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH A MINIMUM CEF RATING OF 5.2.  
 TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION  
 BEING SELECTED AND SHALL SHOW THE APPLIANCE TYPE AND PROVIDE DOCUMENTATION OF ENERGY  
 STAR COMPLIANCE. AT THE TIME OF INSPECTION, ALL APPLIANCES SHALL BE INSTALLED AND  
 CONNECTED TO UTILITIES. DRYER DUCTS AND EXTERIOR DRYER VENT CAPS ARE NOT PERMITTED TO  
 BE INSTALLED IN THE DWELLING UNIT.

**ENERGY CODE NOTES CONTINUED:**  
 R403.12 HEAT PUMP SUPPLEMENTARY HEAT. UNITARY AIR COOLED HEAT  
 PUMPS SHALL INCLUDE CONTROLS THAT MINIMIZE SUPPLEMENTAL HEAT  
 USAGE DURING START-UP, SET-UP, AND DEFROST CONDITIONS. THESE  
 CONTROLS SHALL ANTICIPATE NEED FOR HEAT AND USE COMPRESSION  
 HEATING AS THE FIRST STAGE OF HEAT. CONTROLS SHALL INDICATE  
 WHEN SUPPLEMENTAL HEATING IS BEING USED THROUGH VISUAL MEANS  
 (E.G., LED INDICATORS). HEAT PUMPS EQUIPPED WITH SUPPLEMENTARY  
 HEATERS SHALL BE INSTALLED WITH CONTROLS THAT PREVENT  
 SUPPLEMENTAL HEATER OPERATION ABOVE 40°F. AT FINAL INSPECTION  
 THE AUXILIARY HEAT LOCK OUT CONTROL SHALL BE SET TO 35°F OR  
 LESS.  
 R403.5.3 INSULATE HOT WATER PIPING TO R-3 MIN.  
 SEE AIR BARRIER NOTES FOR AIR BARRIER CONSTRUCTION OF  
 HOUSE. TESTED AIR LEAKAGE TO BE 2.0 AIR CHANGES PER  
 HOUR MAX. AT 50 PASCALS.  
 HVAC EQUIPMENT PER ENERGY CODE OPTION 3.4:  
 MINI-SPLIT HEAT PUMP SYSTEM WITH HSEFF=10.0 MIN.  
 MAIN FLOOR OUTDOOR UNIT: DAIKIN 3MXS24RYVJUA (HSEFF=12.5)  
 UPPER FLOOR OUTDOOR UNIT: DAIKIN 4MXS36RYVJUA (HSEFF=12.2)  
 LIVING ROOM INDOOR UNIT: DAIKIN FTXS09LVJU  
 FAMILY, DINING INDOOR UNIT: DAIKIN FTXS12  
 MASTER BEDROOM INDOOR UNIT: DAIKIN CTXS07LVJU  
 BEDROOM 2, 3, 4, & 5 INDOOR UNIT: DAIKIN CTX20T  
 ELECTRIC HEAT PUMP WATER HEATER, TIER 1 OF NEEA'S  
 ADVANCED WATER HEATING SPECIFICATION:



Stephen Dorsey AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 2,4,&6 OF WANG SHORT PLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

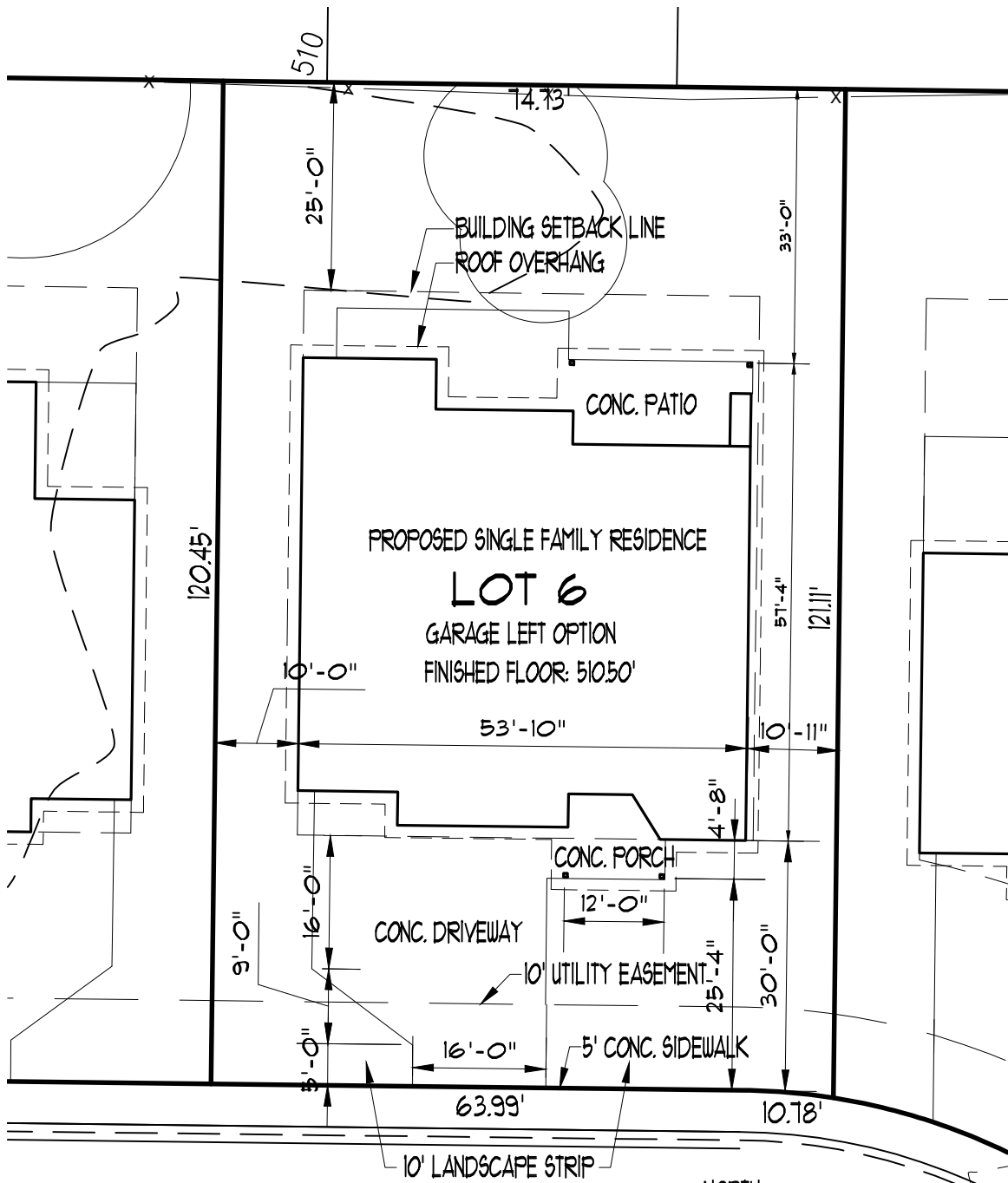


LOT 6 SITE PLAN

REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

**A1.1**



## SITE PLAN

SCALE: 1"=20'

## PROJECT DATA

BUILDING CODE: 2018 IRC  
 OCCUPANCY: R-3, SINGLE FAMILY RESIDENCE  
 CONSTRUCTION: VB  
 NOT SPRINKLERED  
 ZONING: R-4  
 ADDRESS: 116XX 916<sup>TH</sup> STREET SE  
 RENTON, WASHINGTON 98058  
 PARCEL NO.:  
 LOT AREA: 9,002 SF.  
 FLOOR AREA:

UPPER FLOOR: 1311 SF.  
 MAIN FLOOR: 1881 SF.  
 TOTAL LIVING AREA: 3,204 SF.  
 GARAGE: 145 SF.  
 TOTAL BUILDING AREA: 3,949 SF.  
 FRONT PORCH: 101 SF.  
 COVERED PATIO: 222 SF.

BUILDING LOT COVERAGE: 2632 SF. / 9,002 SF. = 29.3%  
 IMPERVIOUS ROOF AREA: 3330 SF.  
 IMPERVIOUS PAVING AREA: 962 SF.  
 TOTAL IMPERVIOUS AREA ON SITE: 4292 SF.  
 IMPERVIOUS AREA LOT COVERAGE: 4292 SF. / 9,002 SF. = 47.7%

LEGAL DESCRIPTION OF SITE BEFORE SUBDIVIDING INTO LOTS.  
 LOT 6, BLOCK 1, NORTHWESTERN GARDEN TRACTS, DIVISION NO.  
 4, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME  
 47 OF PLATS, PAGE 14, IN KING COUNTY, WASHINGTON; EXCEPT  
 THE EAST 30 FEET THEREOF SITUATE IN THE COUNTY OF KING,  
 STATE OF WASHINGTON.

SCOPE OF WORK: ANAIYAH HOMES LLC  
 TO CONSTRUCT SINGLE FAMILY  
 RESIDENCE ON VACANT SITE. PROVIDE  
 DRIVEWAY & SIDEWALKS  
 PER SITE PLAN. PROVIDE  
 UTILITIES & STORM WATER TREATMENT  
 PER CIVIL DRAWINGS.

DRAWN BY:  
 STEPHEN DORSEY AIA ARCHITECT  
 734 - 23<sup>RD</sup> ST. SW, PLYMOUTH, WA 98371  
 TEL: (253)845-5106  
 DATE: 29 JAN. 2019  
 SHEET A11B

**AIR BARRIER AND INSULATION INSTALLATION NOTES:**

A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

CAVITY INSULATION INSTALLATION: ALL CAVITIES IN THE THERMAL ENVELOPE SHALL BE FILLED WITH INSULATION. THE DENSITY OF THE INSULATION SHALL BE AT THE MANUFACTURERS' PRODUCT RECOMMENDATION AND SAID DENSITY SHALL BE MAINTAINED FOR ALL VOLUME OF EACH CAVITY. BATT TYPE INSULATION WILL SHOW NO VOIDS OR GAPS AND MAINTAIN AN EVEN DENSITY FOR THE ENTIRE CAVITY. BATT INSULATION SHALL BE INSTALLED IN THE RECOMMENDED CAVITY DEPTH. WHERE AN OBSTRUCTION IN THE CAVITY DUE TO SERVICES, BLOCKING, BRACING OR OTHER OBSTRUCTION EXISTS, THE BATT PRODUCT WILL BE CUT TO FIT THE REMAINING DEPTH OF THE CAVITY. WHERE THE BATT IS CUT AROUND OBSTRUCTIONS, LOOSE FILL INSULATION SHALL BE PLACED TO FILL. ANY SURFACE OR CONCEALED VOIDS, AND AT THE MANUFACTURERS' SPECIFIED DENSITY. WHERE FACED BATT IS USED, THE INSTALLATION TABS MUST BE STAPLED TO THE FACE OF THE STUD. THERE SHALL BE NO COMPRESSION TO THE BATT AT THE EDGES OF THE CAVITY DUE TO INSET STAPLING INSTALLATION TABS. INSULATION THAT UPON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL BE INSTALLED FILLING THE ENTIRE CAVITY AND WITHIN THE MANUFACTURERS' DENSITY RECOMMENDATION.

CEILING/ATTIC: THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER. BATT INSULATION INSTALLED IN ATTIC ROOF ASSEMBLIES MAY BE COMPRESSED AT EXTERIOR WALL LINES TO ALLOW FOR REQUIRED ATTIC VENTILATION.

WALLS: THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.

WINDOWS, SKYLIGHTS AND DOORS: THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.

RIM JOISTS: RIM JOISTS SHALL INCLUDE THE AIR BARRIER. RIM JOISTS SHALL BE INSULATED.

FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS): THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING OR FLOOR FRAMING. CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOPSIDE OF SHEATHING OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.

CRAWL SPACE WALLS: EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I, BLACK VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED. WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.

SHAFTS, PENETRATIONS: DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.

NARROW CAVITIES: BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT AND INSTALLED TO THE CORRECT DENSITY WITHOUT ANY VOIDS OR GAPS OR COMPRESSION. NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.

GARAGE SEPARATION: AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

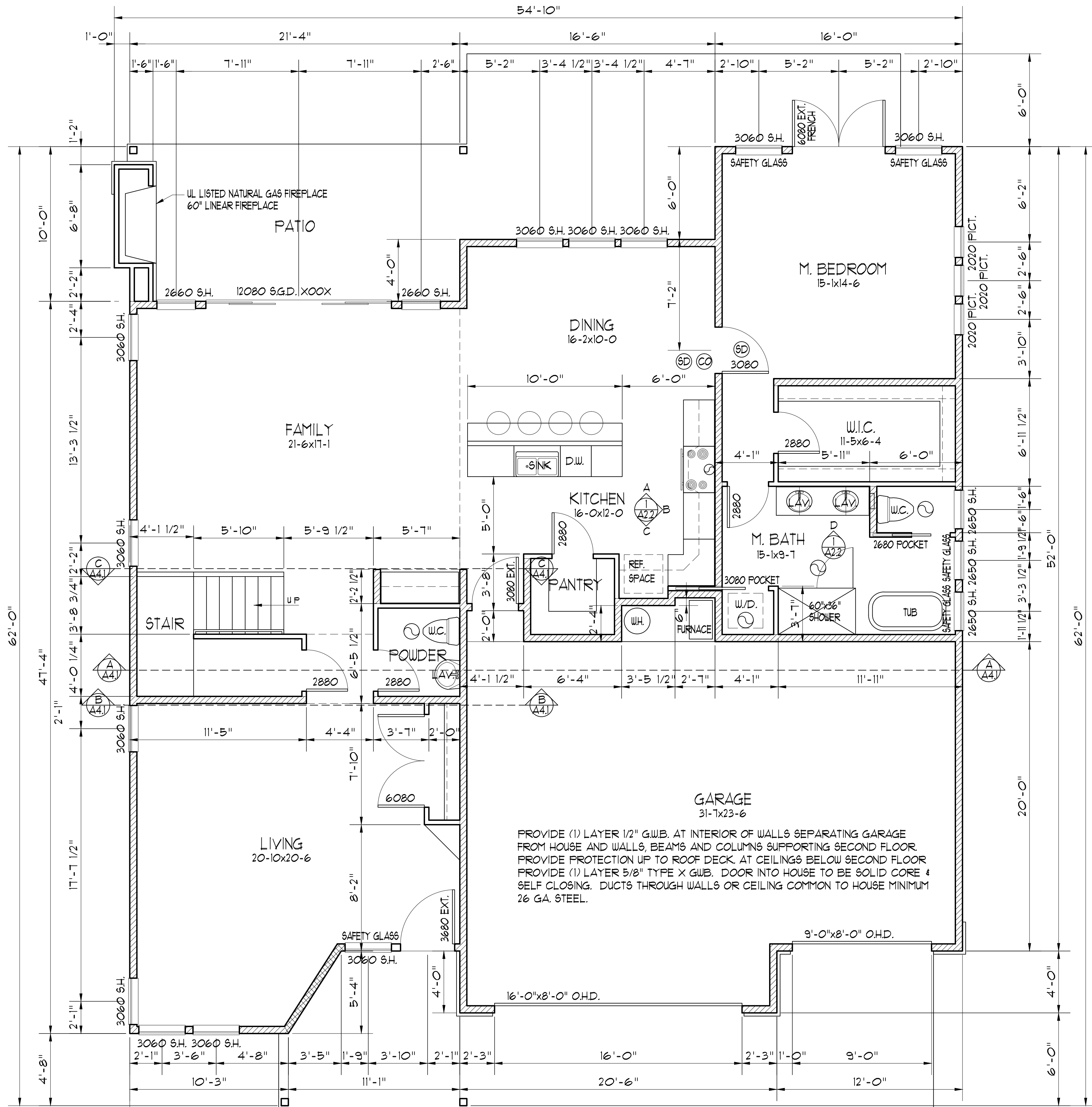
RECESSED LIGHTING: RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.

PLUMBING AND WIRING: BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS. THERE SHALL BE NO VOIDS OR GAPS OR COMPRESSION WHERE CUT TO FIT. INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

SHOWER/TUB ON EXTERIOR WALL: THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS. EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED. ELECTRICAL/PHONE BOX ON EXTERIOR WALL: THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

HYAC REGISTER BOOTS: HYAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

CONCEALED SPRINKLERS: WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILING.



- LEGEND**
- 2x6 STUDS @ 16" O.C.
  - 2x6 STUDS @ 12" O.C.
  - 2x4 STUDS @ 16" O.C.
  - EXHAUST FAN, 100 CFM, VENT TO OUTSIDE  
2.8 CFM/WATT MIN. EFFICACY
  - SMOKE DETECTOR, AC W/ BATTERY  
BACKUP, INTERLINKED.
  - CARBON MONOXIDE DETECTOR

NORTH  
**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

MAIN FLOOR 1895 SF.  
 UPPER FLOOR 1317 SF.  
 TOTAL 3212 SF.  
 GARAGE 745 SF.

Stephen Dorsey AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 2,4,6 OF WANG SHORT FLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

6519 REGISTERED  
 ARCHITECT  
 Stephen Dorsey  
 STEPHEN ARTHUR DORSEY  
 STATE OF WASHINGTON

MAIN FLOOR PLAN

REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

**A2.1**  
 GARAGE RIGHT

**AIR BARRIER AND INSULATION INSTALLATION NOTES:**

A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

**CAVITY INSULATION INSTALLATION:** ALL CAVITIES IN THE THERMAL ENVELOPE SHALL BE FILLED WITH INSULATION. THE DENSITY OF THE INSULATION SHALL BE AT THE MANUFACTURERS' PRODUCT RECOMMENDATION AND SAID DENSITY SHALL BE MAINTAINED FOR ALL VOLUME OF EACH CAVITY. BATT TYPE INSULATION WILL SHOW NO VOIDS OR GAPS AND MAINTAIN AN EVEN DENSITY FOR THE ENTIRE CAVITY. BATT INSULATION SHALL BE INSTALLED IN THE RECOMMENDED CAVITY DEPTH. WHERE AN OBSTRUCTION IN THE CAVITY DUE TO SERVICES, BLOCKING, BRACING OR OTHER OBSTRUCTION EXISTS, THE BATT PRODUCT WILL BE CUT TO FIT THE REMAINING DEPTH OF THE CAVITY. WHERE THE BATT IS CUT AROUND OBSTRUCTIONS, LOOSE FILL INSULATION SHALL BE PLACED TO FILL. ANY SURFACE OR CONCEALED VOIDS, AND AT THE MANUFACTURERS' SPECIFIED DENSITY. WHERE FACED BATT IS USED, THE INSTALLATION TABS MUST BE STAPLED TO THE FACE OF THE STUD. THERE SHALL BE NO COMPRESSION TO THE BATT AT THE EDGES OF THE CAVITY DUE TO INSET STAPLING INSTALLATION TABS. INSULATION THAT UPON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL BE INSTALLED FILLING THE ENTIRE CAVITY AND WITHIN THE MANUFACTURERS' DENSITY RECOMMENDATION.

**CEILING/ATTIC:** THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER. BATT INSULATION INSTALLED IN ATTIC ROOF ASSEMBLIES MAY BE COMPRESSED AT EXTERIOR WALL LINES TO ALLOW FOR REQUIRED ATTIC VENTILATION.

**WALLS:** THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.

**WINDOWS, SKYLIGHTS AND DOORS:** THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.

**RIM JOISTS:** RIM JOISTS SHALL INCLUDE THE AIR BARRIER. RIM JOISTS SHALL BE INSULATED.

**FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS):** THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING OR FLOOR FRAMING. CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOPSIDE OF SHEATHING OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.

**CRAWL SPACE WALLS:** EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I, BLACK VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED. WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.

**SHAFTS, PENETRATIONS:** DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.

**NARROW CAVITIES:** BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT AND INSTALLED TO THE CORRECT DENSITY WITHOUT ANY VOIDS OR GAPS OR COMPRESSION. NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.

**GARAGE SEPARATION:** AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

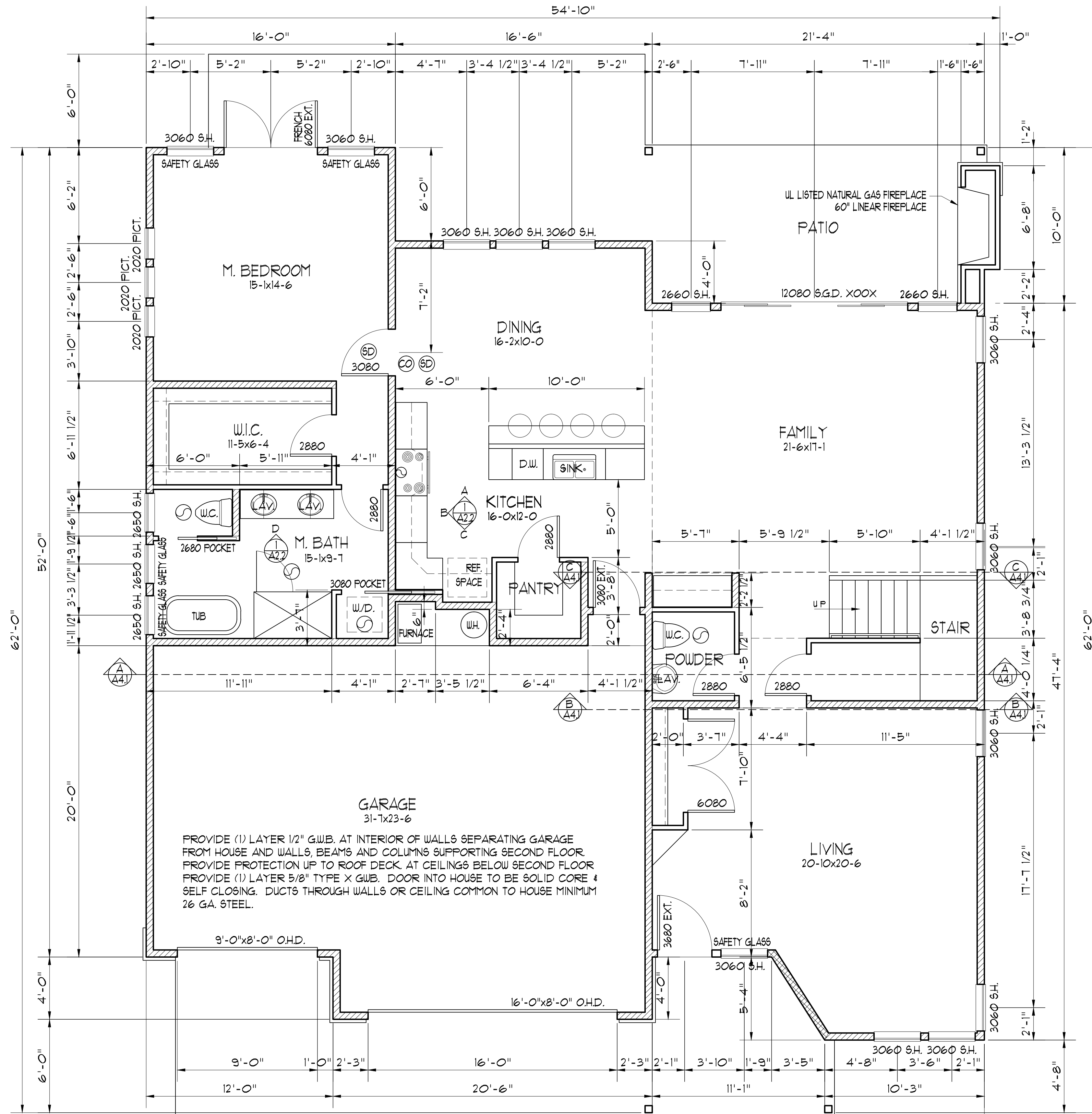
**RECESSED LIGHTING:** RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.

**PLUMBING AND WIRING:** BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS. THERE SHALL BE NO VOIDS OR GAPS OR COMPRESSION WHERE CUT TO FIT. INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

**SHOWER/TUB ON EXTERIOR WALL:** THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS. EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED. ELECTRICAL/PHONE BOX ON EXTERIOR WALL: THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

**HVAC REGISTER BOOT:** HVAC REGISTER BOOT THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

**CONCEALED SPRINKLERS:** WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILING.



MAIN FLOOR 1,895 SF.  
UPPER FLOOR 1,311 SF.  
TOTAL 3,206 SF.  
GARAGE 145 SF.

**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH

- LEGEND**
- 2x6 STUDS @ 16" O.C.
  - 2x6 STUDS @ 12" O.C.
  - 2x4 STUDS @ 16" O.C.
  - EXHAUST FAN, 100 CFM, VENT TO OUTSIDE
  - 28 CFM/WATT MIN. EFFICACY
  - SMOKE DETECTOR, AC W/ BATTERY BACKUP, INTERLINKED.
  - CARBON MONOXIDE DETECTOR

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Fuyúallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

6519 REGISTERED ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

MAIN FLOOR PLAN

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.1**  
GARAGE LEFT



**DOOR SCHEDULE** FOR ONE UNIT

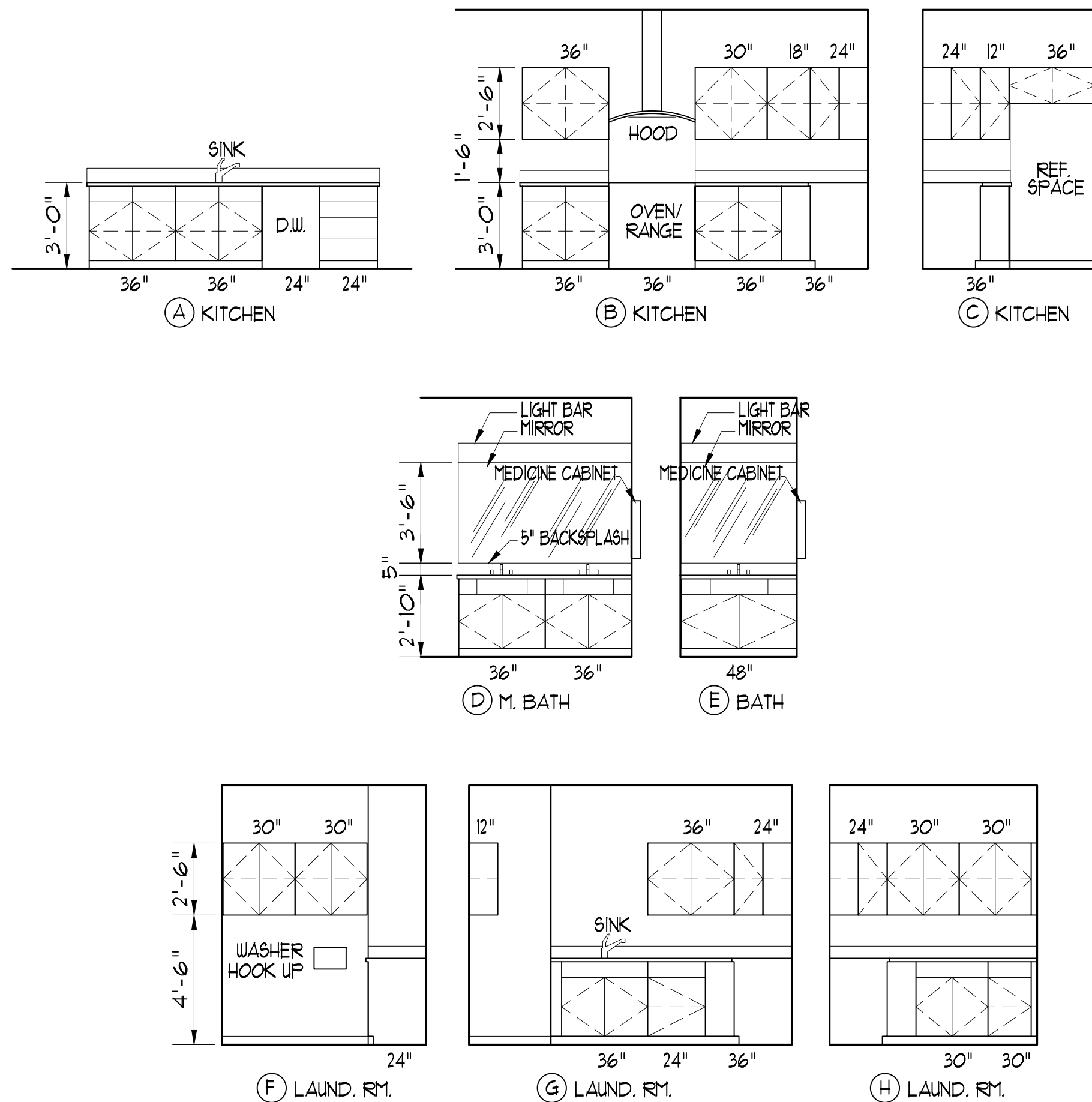
CALLOUTS	QUANTITY	SIZE	TYPE	NOTES
1680	1	1'-6"x8'-0"x1-3/8"	INTERIOR DOOR	
2026	1	2'-0"x2'-6"x1-3/8"	EXTERIOR DOOR	ATTIC ACCESS
2880	10	2'-8"x8'-0"x1-3/8"	INTERIOR DOOR	
2880 POCKET	1	2'-8"x8'-0"x1-3/8"	INTERIOR POCKET DOOR	
3080	2	3'-0"x8'-0"x1-3/8"	INTERIOR DOOR	
3080 EXT.	1	3'-0"x8'-0"x1-3/4"	EXTERIOR SOLID CORE DOOR	
3080 POCKET	1	3'-0"x8'-0"x1-3/8"	INTERIOR POCKET DOOR	
6080	1	6'-0"x8'-0"x1-3/8"	INTERIOR DOUBLE DOORS	
5080 SL.	2	5'-0"x8'-0"x1-3/8"	INTERIOR SLIDING DOOR	
8080 SL.	2	8'-0"x8'-0"x1-3/8"	INTERIOR SLIDING DOOR	
EXTERIOR DOORS W/ GLAZING:				
3680 EXT. FRENCH	1	3'-6"x8'-0"	FRENCH DOOR	SAFETY GLASS
6080 EXT. FRENCH	3	6'-0"x8'-0"x1-3/4"	DOUBLE FRENCH DOORS	SAFETY GLASS
1080 S.G.D.	1	12'-0"x8'-0"	XOXX SLIDING GLASS DOOR	SAFETY GLASS

NOTES:  
EXTERIOR DOORS TO BE WEATHER STRIPPED, W/ THRESHOLD, U-VALUE = 0.20 MAX.  
SEE DOOR DETAIL 18 ON A4.4

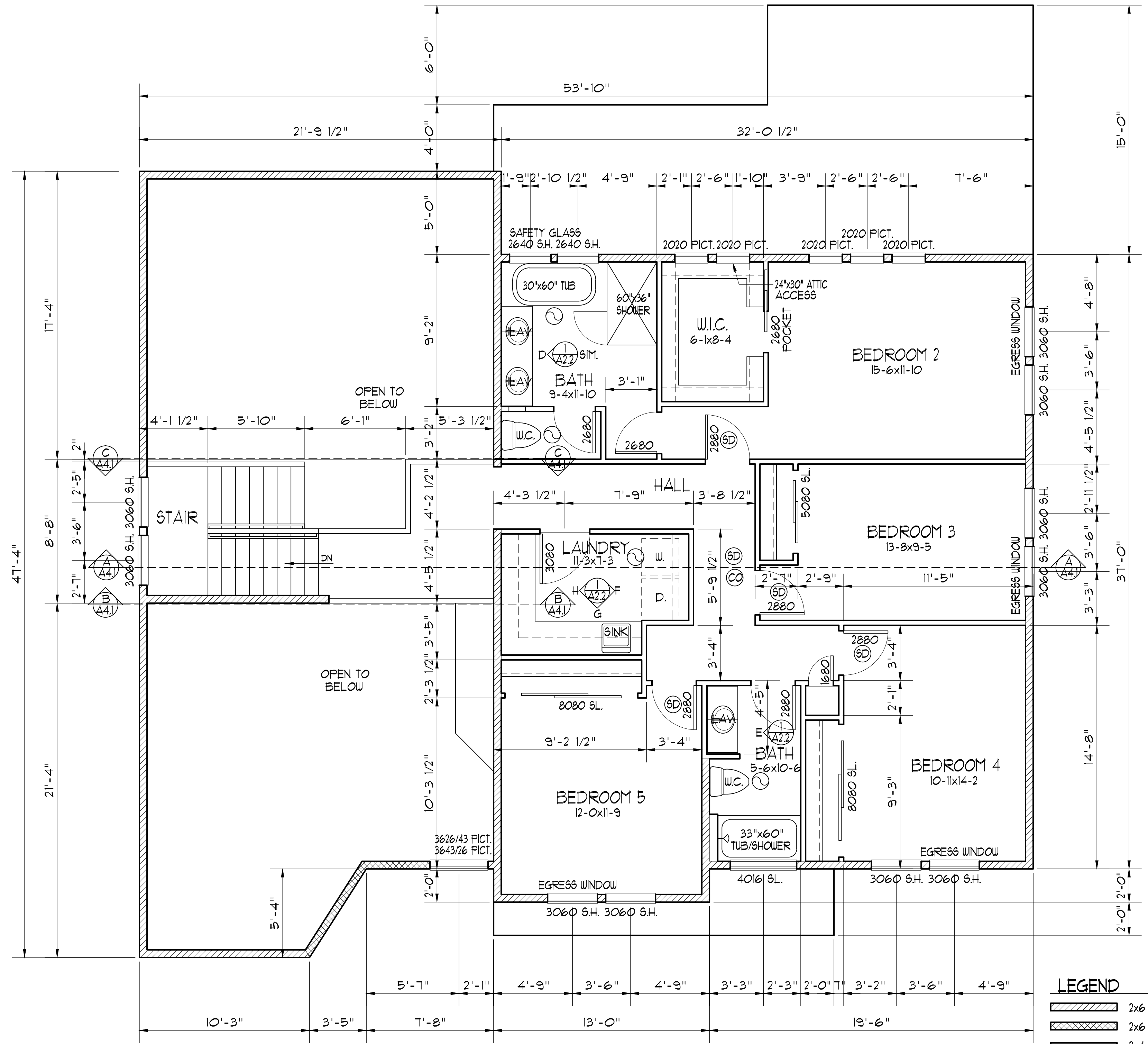
**WINDOW SCHEDULE**

CALLOUTS	QUANTITY	SIZE	TYPE	NOTES
2020 PICT.	8	2'-0"x2'-0"	PICTURE	
2650 S.H.	1	2'-6"x5'-0"	SINGLE HUNG	
2650 S.H. S.G.	2	2'-6"x5'-0"	SINGLE HUNG	SAFETY GLASS
2660 S.H. S.G.	2	2'-6"x6'-0"	SINGLE HUNG	SAFETY GLASS
2640 S.H.	2	2'-6"x4'-0"	SINGLE HUNG	SAFETY GLASS
3060 S.H.	18	3'-0"x6'-0"	SINGLE HUNG	
3060 S.H. S.G.	3	3'-0"x6'-0"	SINGLE HUNG	SAFETY GLASS
4016 SL.	1	4'-0"x1'-6"	SLIDER	
3626/43 PICT.	1	3'-6"x2'-6" / 4'-3"	PICTURE, TRAPEZOID	SEE ELEVATIONS
3643/26 PICT.	1	3'-6"x4'-3" / 2'-6"	PICTURE, TRAPEZOID	SEE ELEVATIONS

\* OPTION TO TRAPEZOID WINDOWS: (2) 3'-6"x2'-6" PICTURE  
LO-E GLASS, ARGON FILLED, VINYL FRAME WINDOWS,  
FRAME COLOR: BRONZE EXTERIOR, WHITE INTERIOR  
DOOR & WINDOW MAX. U VALUE: 0.20 AREA WEIGHTED AVERAGE  
AREA OF WINDOWS: 521 SF.  
AREA OF EXTERIOR GLAZED DOORS: 112 SF.  
AREA OF EXTERIOR OPAQUE DOORS: 29 SF.  
FENESTRATION AREA / FLOOR AREA: 128 / 3204 = 22.1%  
SEE WINDOW DETAILS 16 & 11 ON A4.4



**1 CABINET ELEVATIONS**  
SCALE: 1/4" = 1'-0"



EGRESS WINDOW NOTE: PROVIDE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE FROM BASEMENTS AND FROM EVERY ROOM USED FOR SLEEPING PURPOSES. WINDOW OPENINGS TO BE 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, 5.7 SQ. FT. MINIMUM OPENING AREA, AND 44" MAXIMUM SILL HEIGHT OF OPENING ABOVE THE FINISHED FLOOR.

ALL OPERABLE WINDOWS LOCATED OVER 6' ABOVE EXTERIOR GRADE TO HAVE 24" MINIMUM SILL HEIGHT OF OPENING ABOVE FINISHED FLOOR.

**LEGEND**

- 2x6 STUDS @ 16" O.C.
- 2x6 STUDS @ 12" O.C.
- 2x4 STUDS @ 16" O.C.
- EXHAUST FAN, 100 CFM, VENT TO OUTSIDE  
2.8 CFM/WATT MIN. EFFICACY
- SMOKE DETECTOR, AC W/ BATTERY  
BACKUP, INTERLINKED.
- CARBON MONOXIDE DETECTOR

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2, 4, 6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

6519 REGISTERED  
ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

UPPER FLOOR PLAN

REVISION

DATE: 15 DEC. 2021  
PROJECT NO.: 18-608  
SHEET:

**A2.2**  
GARAGE RIGHT

### DOOR SCHEDULE FOR ONE UNIT

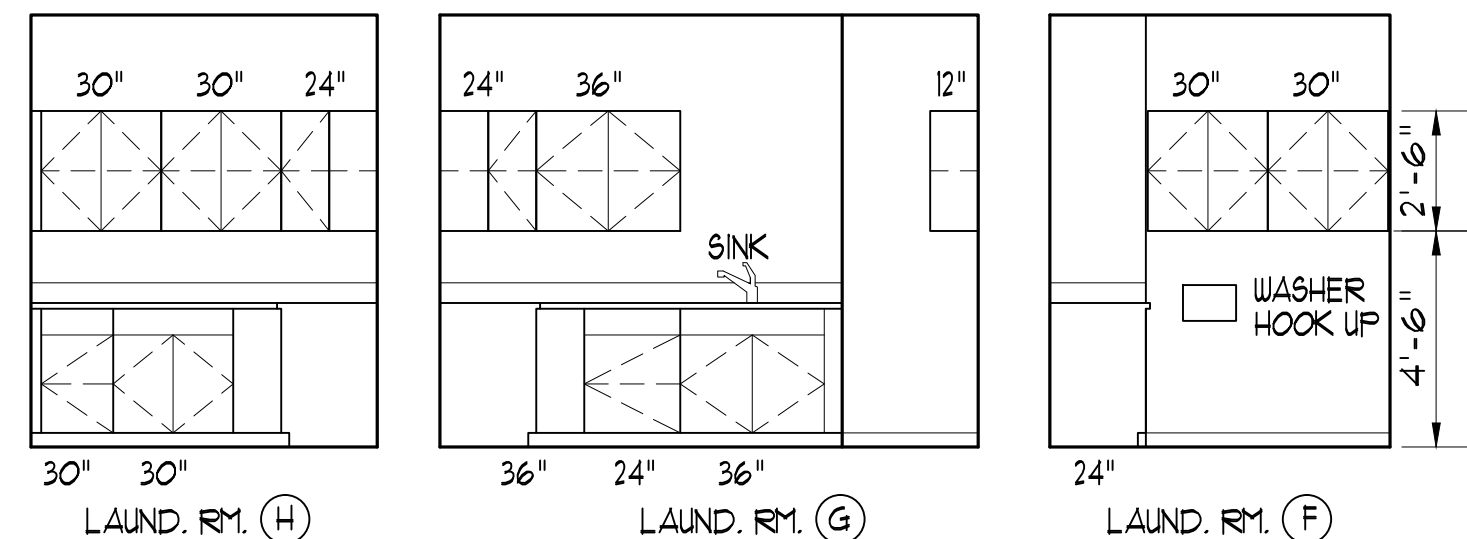
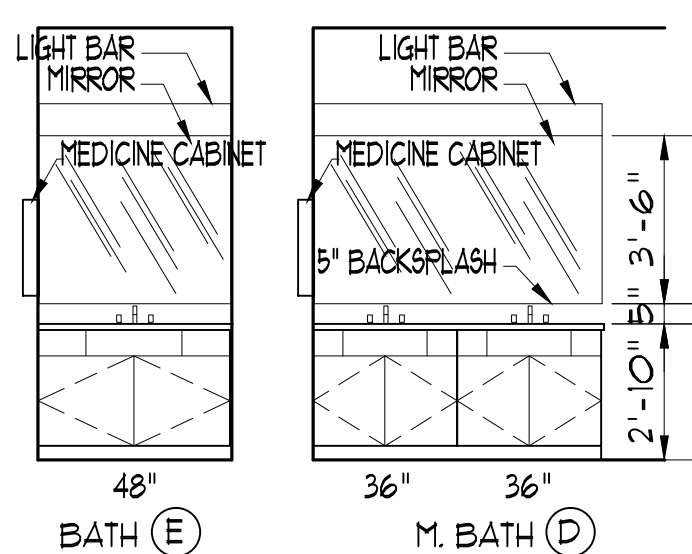
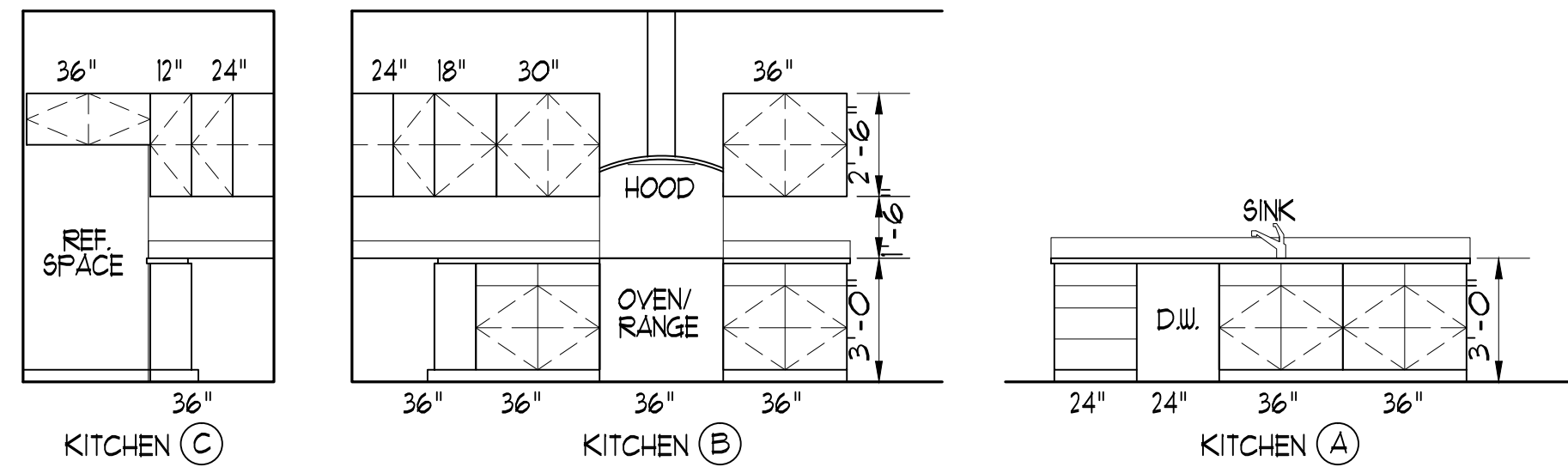
CALLOUTS	QUANTITY	SIZE	TYPE	NOTES
1680	1	1'-6"x8'-0"x1-3/8"	INTERIOR DOOR	
2026	1	2'-0"x2'-6"x1-3/8"	EXTERIOR DOOR	ATTIC ACCESS
2880	10	2'-8"x8'-0"x1-3/8"	INTERIOR DOOR	
2880 POCKET	1	2'-8"x8'-0"x1-3/8"	INTERIOR POCKET DOOR	
3080	2	3'-0"x8'-0"x1-3/8"	INTERIOR DOOR	
3080 EXT.	1	3'-0"x8'-0"x1-3/4"	EXTERIOR SOLID CORE DOOR	
3080 POCKET	1	3'-0"x8'-0"x1-3/8"	INTERIOR POCKET DOOR	
6080	1	6'-0"x8'-0"x1-3/8"	INTERIOR DOUBLE DOORS	
5080 SL.	2	5'-0"x8'-0"x1-3/8"	INTERIOR SLIDING DOOR	
8080 SL.	2	8'-0"x8'-0"x1-3/8"	INTERIOR SLIDING DOOR	
EXTERIOR DOORS W/ GLAZING:				
3680 EXT. FRENCH	1	3'-6"x8'-0"	FRENCH DOOR	SAFETY GLASS
6080 EXT. FRENCH	3	6'-0"x8'-0"x1-3/4"	DOUBLE FRENCH DOORS	SAFETY GLASS
12080 S.G.D.	1	12'-0"x8'-0"	XOXX SLIDING GLASS DOOR	SAFETY GLASS

NOTES:  
EXTERIOR DOORS TO BE WEATHER STRIPPED, W/ THRESHOLD, U-VALUE = 0.20 MAX.  
SEE DOOR DETAIL 18 ON A44

### WINDOW SCHEDULE

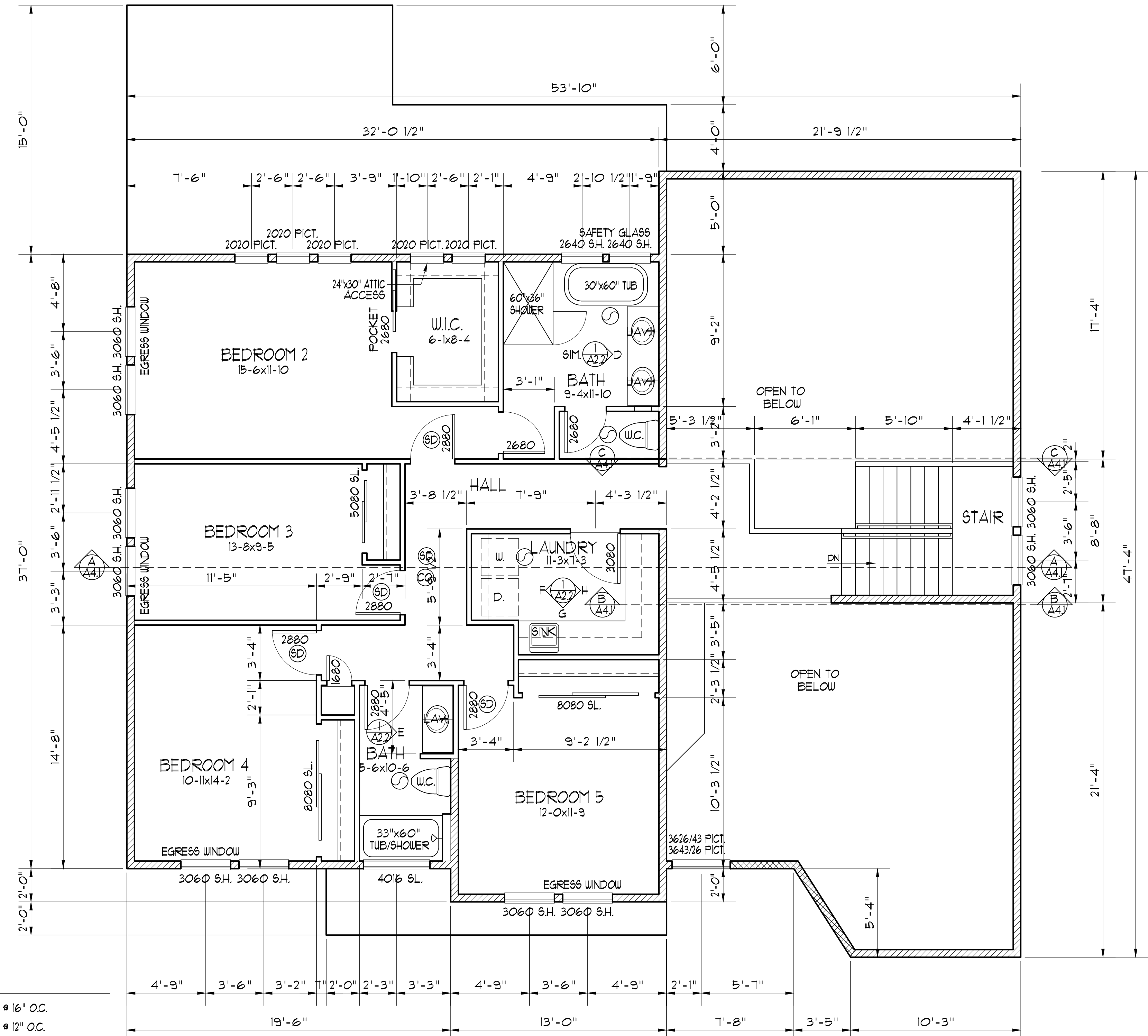
CALLOUTS	QUANTITY	SIZE	TYPE	NOTES
2020 PICT.	8	2'-0"x2'-0"	PICTURE	
2650 S.H.	1	2'-6"x5'-0"	SINGLE HUNG	SAFETY GLASS
2650 S.H. S.G.	2	2'-6"x5'-0"	SINGLE HUNG	SAFETY GLASS
2660 S.H. S.G.	2	2'-6"x6'-0"	SINGLE HUNG	SAFETY GLASS
2640 S.H.	2	2'-6"x4'-0"	SINGLE HUNG	SAFETY GLASS
3060 S.H.	18	3'-0"x6'-0"	SINGLE HUNG	
3060 S.H. S.G.	3	3'-0"x6'-0"	SINGLE HUNG	SAFETY GLASS
4016 SL.	1	4'-0"x1'-6"	SLIDER	
3626/43 PICT. *	1	3'-6"x2'-6" / 4'-3"	PICTURE, TRAPEZOID	SEE ELEVATIONS
3643/26 PICT. *	1	3'-6"x4'-3" / 2'-6"	PICTURE, TRAPEZOID	SEE ELEVATIONS

\* OPTION TO TRAPEZOID WINDOWS: (2) 3'-6"x2'-6" PICTURE  
LO-E GLASS, ARGON FILLED, VINYL FRAME WINDOWS,  
FRAME COLOR: BRONZE EXTERIOR, WHITE INTERIOR  
DOOR & WINDOW MAX. U VALUE: 0.20 AREA WEIGHTED AVERAGE  
AREA OF WINDOWS: 521 SF.  
AREA OF EXTERIOR GLAZED DOORS: 112 SF.  
AREA OF EXTERIOR OPAQUE DOORS: 29 SF.  
PENETRATION AREA / FLOOR AREA: 128 / 3204 = 22.1%  
SEE WINDOW DETAILS 16 & 17 ON A44



### 1 CABINET ELEVATIONS

SCALE: 1/4" = 1'-0"



- LEGEND**
- 2x6 STUDS @ 16" O.C.
  - 2x6 STUDS @ 12" O.C.
  - 2x4 STUDS @ 16" O.C.
  - EXHAUST FAN, 100 CFM, VENT TO OUTSIDE  
28 CFM/WATT MIN. EFFICACY
  - SMOKE DETECTOR, AC W/ BATTERY  
BACKUP, INTERLINKED.
  - CARBON MONOXIDE DETECTOR

### UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

EGRESS WINDOW NOTE: PROVIDE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE FROM BASEMENTS AND FROM EVERY ROOM USED FOR SLEEPING PURPOSES. WINDOW OPENINGS TO BE 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, 5.7 SQ. FT. MINIMUM OPENING AREA, AND 44" MAXIMUM SILL HEIGHT OF OPENING ABOVE THE FINISHED FLOOR.

ALL OPERABLE WINDOWS LOCATED OVER 6' ABOVE EXTERIOR GRADE TO HAVE 24" MINIMUM SILL HEIGHT OF OPENING ABOVE FINISHED FLOOR.

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

6519 REGISTERED  
ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

### UPPER FLOOR PLAN

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.2**  
GARAGE LEFT

### DOOR SCHEDULE FOR ONE UNIT

CALLOUTS	QUANTITY	SIZE	TYPE	NOTES
1680	1	1'-6"x8'-0"x1-3/8"	INTERIOR DOOR	
1026 EXT.	1	2'-0"x2'-6"x1-3/8"	EXTERIOR SOLID CORE DOOR	ATTIC ACCESS
2880	10	2'-8"x8'-0"x1-3/8"	INTERIOR DOOR	
2880 POCKET	1	2'-8"x8'-0"x1-3/8"	INTERIOR POCKET DOOR	
3080	2	3'-0"x8'-0"x1-3/8"	INTERIOR DOOR	
3080 EXT.	1	3'-0"x8'-0"x1-3/4"	EXTERIOR SOLID CORE DOOR	
3080 POCKET	1	3'-0"x8'-0"x1-3/8"	INTERIOR POCKET DOOR	
6080	1	6'-0"x8'-0"x1-3/8"	INTERIOR DOUBLE DOORS	
5080 SL.	2	5'-0"x8'-0"x1-3/8"	INTERIOR SLIDING DOOR	
8080 SL.	2	8'-0"x8'-0"x1-3/8"	INTERIOR SLIDING DOOR	
EXTERIOR DOORS W/ GLAZING:				
3680 EXT.	1	3'-6"x8'-0"	EXTERIOR SOLID CORE DOOR	SAFETY GLASS
6080 EXT. FRENCH	1	6'-0"x8'-0"x1-3/4"	DOUBLE FRENCH DOORS	SAFETY GLASS
1080 S.G.D.	1	1'-0"x8'-0"	XOXX SLIDING GLASS DOOR	SAFETY GLASS

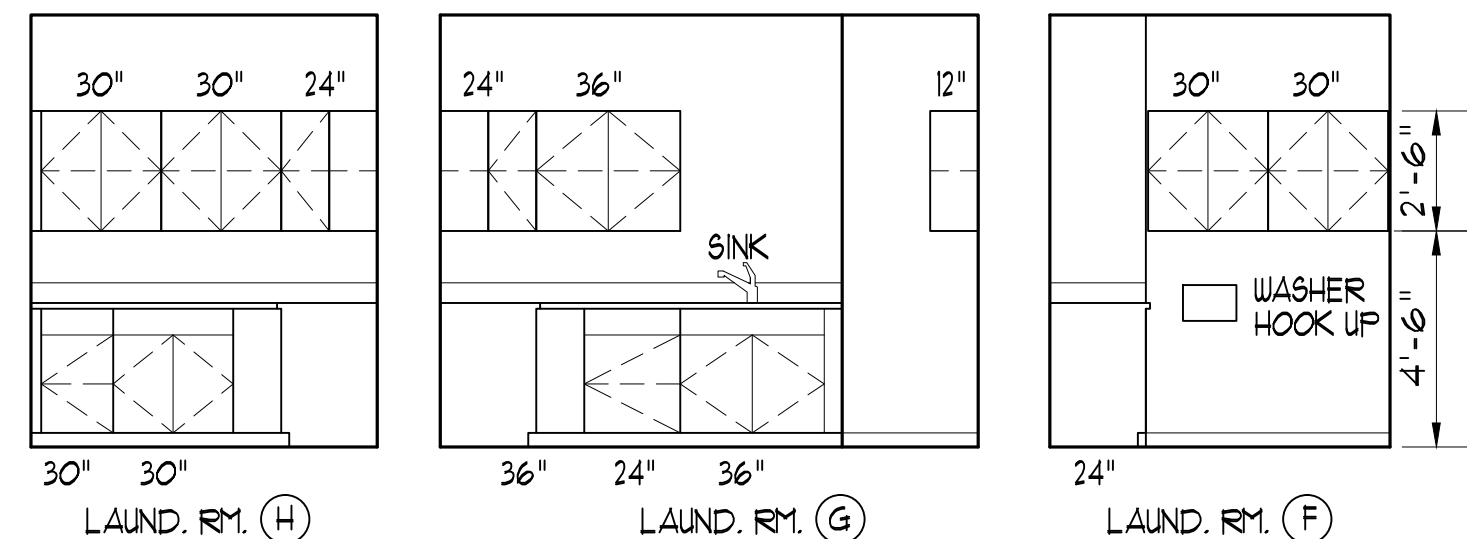
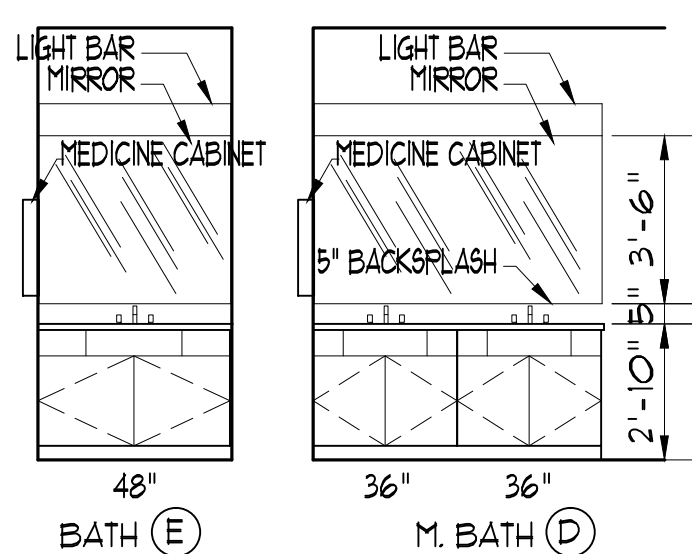
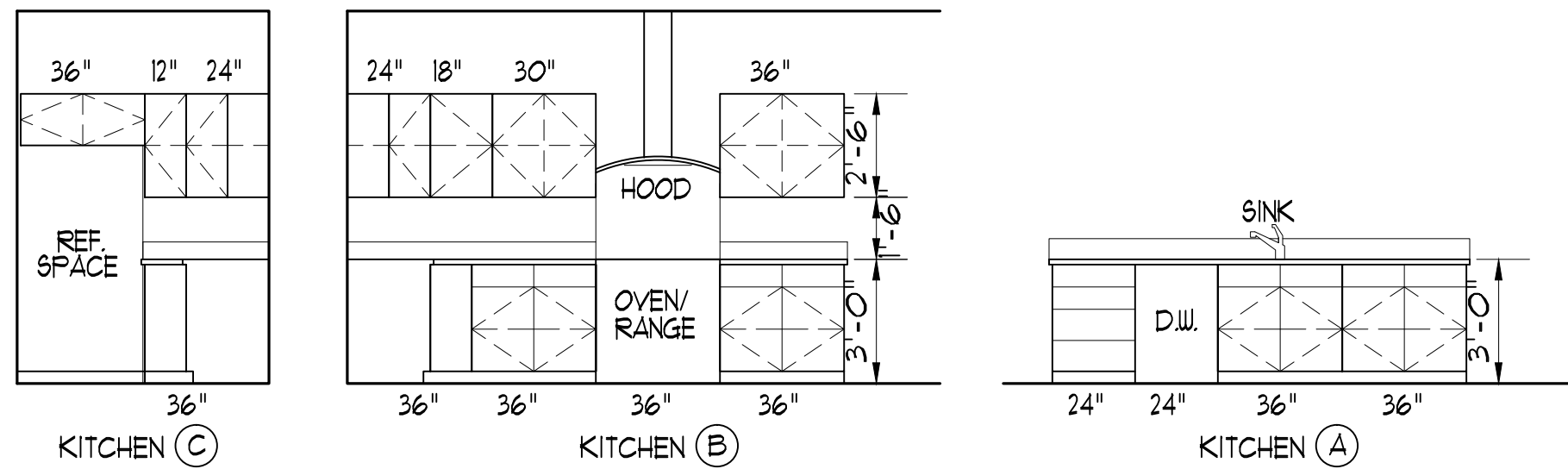
NOTES:  
EXTERIOR DOORS TO BE WEATHER STRIPPED, W/ THRESHOLD, U-VALUE = 0.28 MAX. SEE DOOR DETAIL 18 ON A4.4

### WINDOW SCHEDULE

CALLOUTS	QUANTITY	SIZE	TYPE	NOTES
2020 PICT.	8	2'-0"x2'-0"	PICTURE	
2650 S.H.	1	2'-6"x5'-0"	SINGLE HUNG	
2650 S.H. S.G.	2	2'-6"x5'-0"	SINGLE HUNG	SAFETY GLASS
2660 S.H. S.G.	2	2'-6"x6'-0"	SINGLE HUNG	SAFETY GLASS
2640 S.H.	2	2'-6"x4'-0"	SINGLE HUNG	SAFETY GLASS
3060 S.H.	18	3'-0"x6'-0"	SINGLE HUNG	
3060 S.H. S.G.	3	3'-0"x6'-0"	SINGLE HUNG	SAFETY GLASS
3020 PICT.	1	3'-0"x2'-0"	PICTURE	
3620 PICT.	1	3'-6"x2'-0"	PICTURE	
4016 SL.	1	4'-0"x1'-6"	SLIDER	

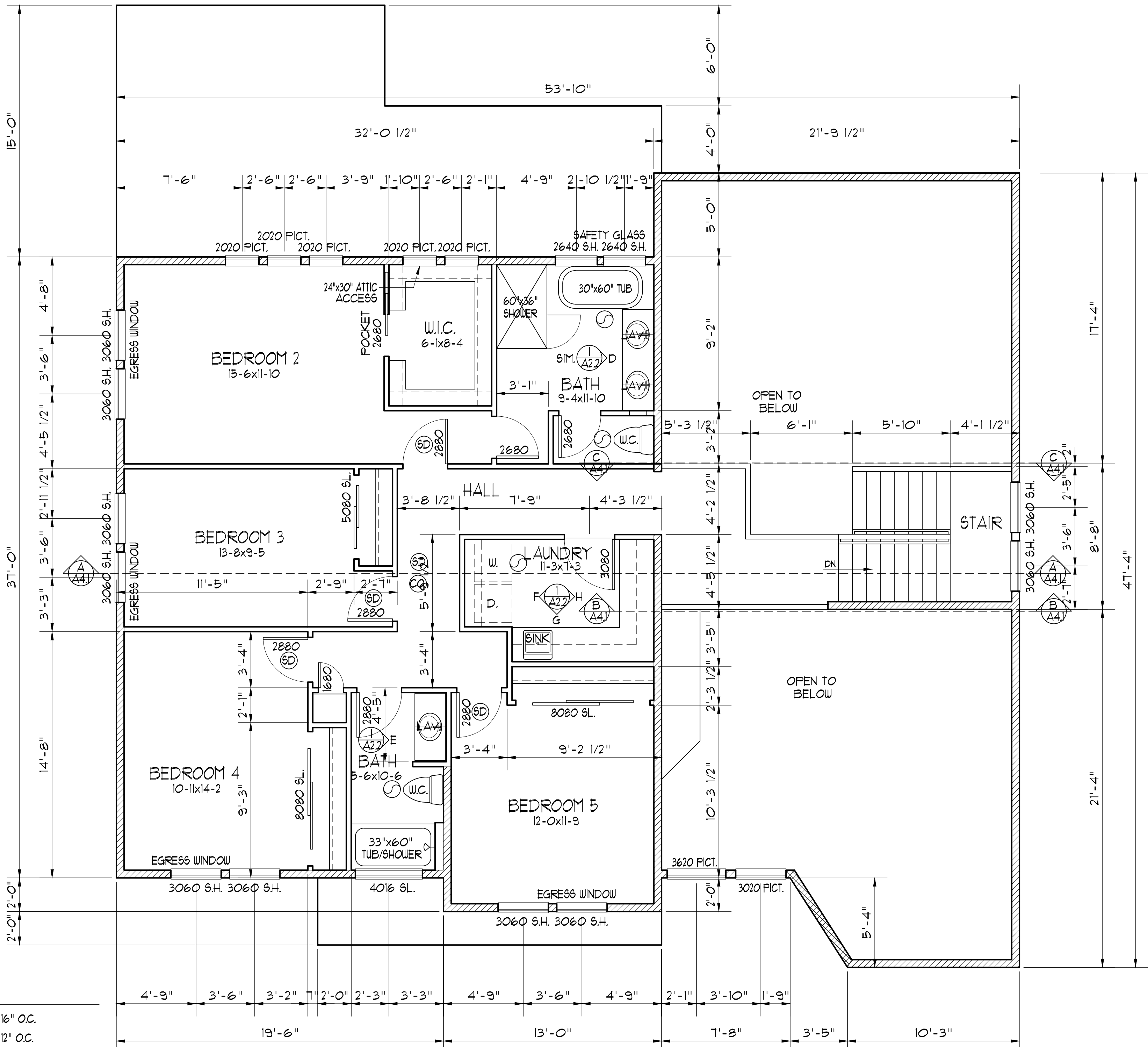
LO-E GLASS, ARGON FILLED, VINYL FRAME WINDOWS,  
FRAME COLOR: BRONZE EXTERIOR, WHITE INTERIOR  
DOOR & WINDOW MAX. U VALUE: 0.28 AREA WEIGHTED AVERAGE  
AREA OF WINDOWS: 516.5 SF.  
AREA OF EXTERIOR GLAZED DOORS: 172 SF.  
AREA OF EXTERIOR OPAQUE DOORS: 29 SF.  
FENESTRATION AREA / FLOOR AREA: 717.5 / 3204 = 22.4%  
SEE WINDOW DETAILS 16 & 11 ON A4.4

COVERED WITH A  
DIVIDED INSTEAD  
WALLSPACE WALLS.  
OPENING TO  
FIN TO TUF



### 1 CABINET ELEVATIONS

SCALE: 1/4"=1'-0"



- LEGEND**
- - 
  - 
  - 
  - 
  -

NORTH  
**UPPER FLOOR PLAN**  
SCALE: 1/4"=1'-0"

EGRESS WINDOW NOTE: PROVIDE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE FROM BASEMENTS AND FROM EVERY ROOM USED FOR SLEEPING PURPOSES. WINDOW OPENINGS TO BE 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, 5.7 SQ. FT. MINIMUM OPENING AREA, AND 44" MAXIMUM SILL HEIGHT OF OPENING ABOVE THE FINISHED FLOOR.

ALL OPERABLE WINDOWS LOCATED OVER 6' ABOVE EXTERIOR GRADE TO HAVE 24" MINIMUM SILL HEIGHT OF OPENING ABOVE FINISHED FLOOR.

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98311  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

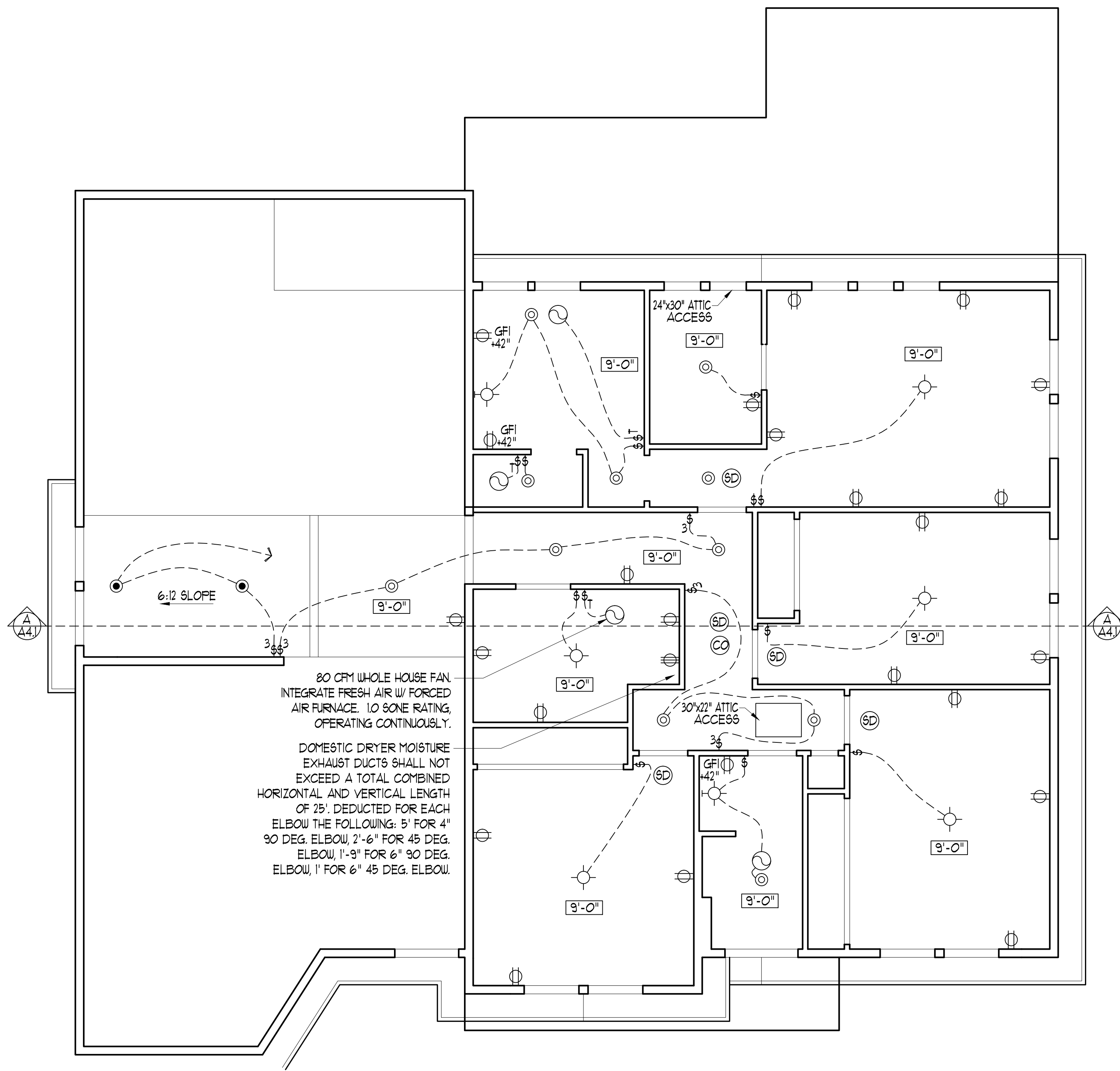
6519 REGISTERED  
ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

### UPPER FLOOR PLAN

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

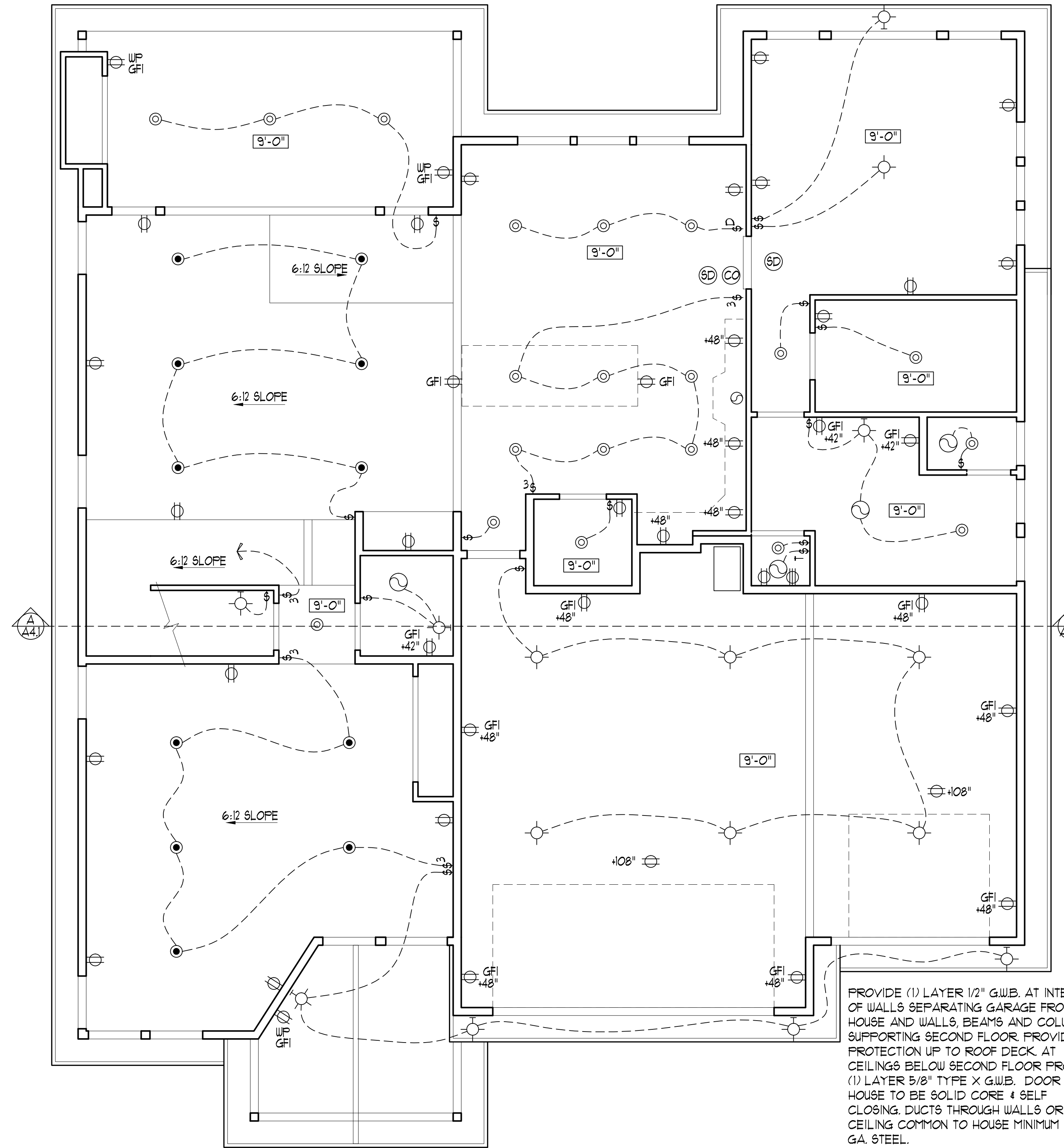
**A2.2**  
HIP ROOF



80 CFM WHOLE HOUSE FAN  
INTEGRATE FRESH AIR W/ FORCED  
AIR FURNACE. TO SOME RATING,  
OPERATING CONTINUOUSLY.

DOMESTIC DRYER MOISTURE  
EXHAUST DUCTS SHALL NOT  
EXCEED A TOTAL COMBINED  
HORIZONTAL AND VERTICAL LENGTH  
OF 25'. DEDUCTED FOR EACH  
ELBOW THE FOLLOWING: 5' FOR 4"  
90 DEG. ELBOW, 2'-6" FOR 45 DEG.  
ELBOW, 1'-9" FOR 6" 90 DEG.  
ELBOW, 1' FOR 6" 45 DEG. ELBOW.

NORTH  
UPPER FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4"=1'-0"  
0 4



PROVIDE (1) LAYER 1/2" G.W.B. AT INTERIOR  
OF WALLS SEPARATING GARAGE FROM  
HOUSE AND WALLS, BEAMS AND COLUMNS  
SUPPORTING SECOND FLOOR. PROVIDE  
PROTECTION UP TO ROOF DECK. AT  
CEILINGS BELOW SECOND FLOOR PROVIDE  
(1) LAYER 5/8" TYPE X G.W.B. DOOR INTO  
HOUSE TO BE SOLID CORE & SELF  
CLOSING. DUCTS THROUGH WALLS OR  
CEILING COMMON TO HOUSE MINIMUM 26  
GA. STEEL.

NORTH  
MAIN FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4"=1'-0"  
0 4

**ELECTRICAL LEGEND**

- |   |   |   |   |   |                    |   |               |
|---|---|---|---|---|--------------------|---|---------------|
| ○ | CEILING MOUNTED LED                               | ● | UNDER CABINET LED   | ○ | 110V OUTLET        | ⊕ | SWITCH        |
| ○ | WALL MOUNTED LED                                  | ○ | EXHAUST FAN 80 CFM, VENT TO OUTSIDE<br>2.8 CFM/WATT MIN. EFFICACY | ○ | 220V OUTLET        | ⊕ | 3-WAY SWITCH  |
| ○ | WALL MOUNT FLOOD W/ MOTION &<br>PHOTO CELL        | ⊕ | SMOKE DETECTOR, AC W/ BATTERY<br>BACKUP, INTERLINKED.             | ⊕ | SWITCHED OUTLET    | ⊕ | 4-WAY SWITCH  |
| ○ | DOUBLE WALL MOUNT FLOOD W/<br>MOTION & PHOTO CELL | ⊕ | CARBON MONOXIDE DETECTOR  | ⊕ | GFI                | ⊕ | TIMER SWITCH  |
| ○ | CEILING RECESSED LED                              | ⊕ |   | ⊕ | WEATHER PROOF      | ⊕ | DIMMER SWITCH |
| ○ | CEILING RECESSED EYEBALL LED                      | ⊕ |   | ⊕ | FL FLOOR OUTLET    |   |               |
|   |   | ⊕ |   | ⊕ | CLG CEILING OUTLET |   |               |

ELECTRICAL SYSTEM TO BE BIDDER DESIGNED  
ALL LIGHTING FIXTURES TO HAVE LED LAMPS

Stephen Dorsey, AIA  
Architect  
734 - 23rd St. SW  
Puyallup, WA 98371  
Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058



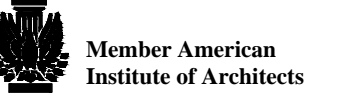
REFLECTED CEILING PLANS

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.3**  
GARAGE RIGHT

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Puyallup, WA 98371  
Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

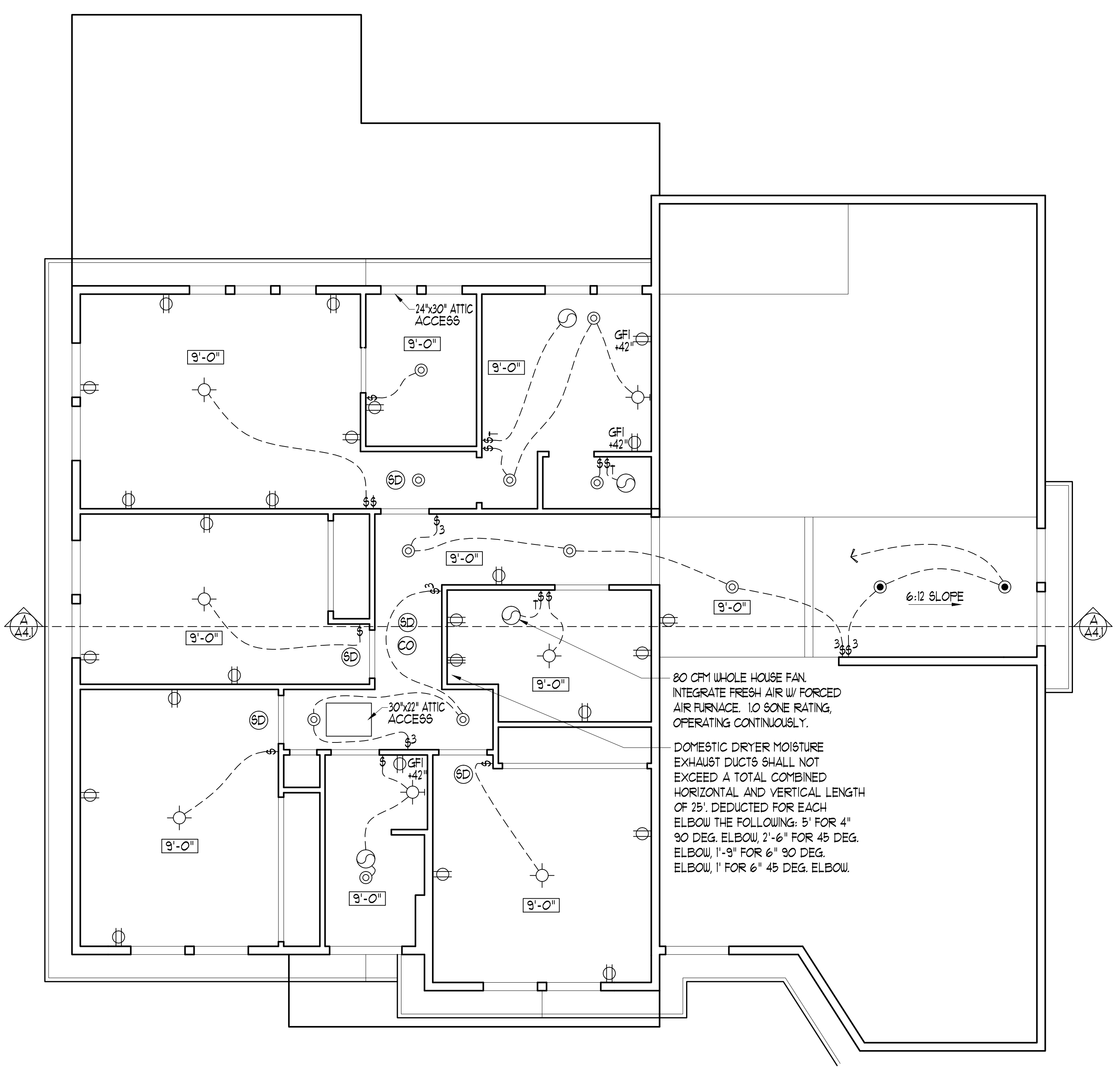


REFLECTED CEILING PLANS

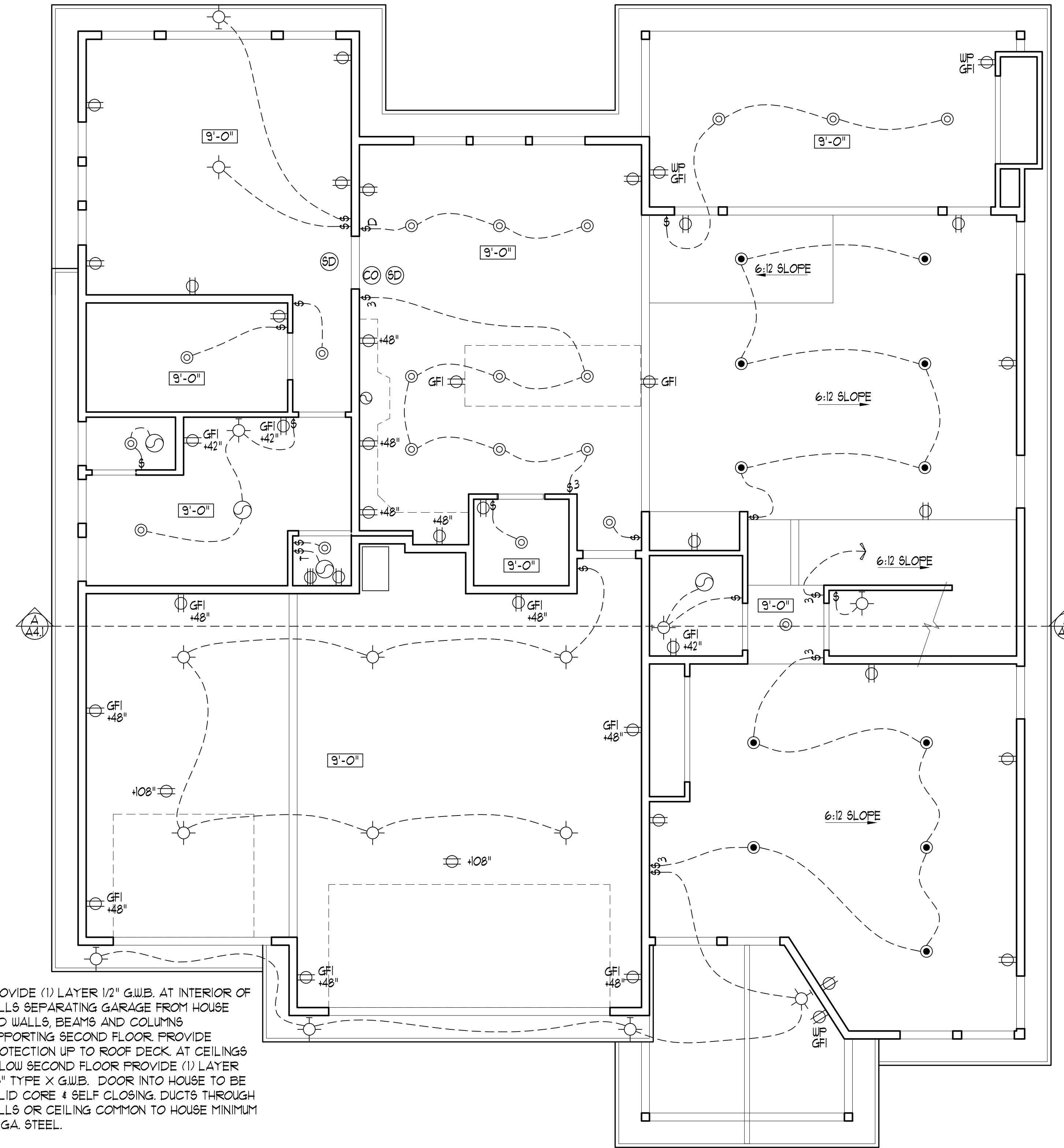
REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.3**  
GARAGE LEFT



NORTH  
**UPPER FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4"=1'-0"  
0 4



PROVIDE (1) LAYER 1/2" G.W.B. AT INTERIOR OF WALLS SEPARATING GARAGE FROM HOUSE AND WALLS, BEAMS AND COLUMN SUPPORTING SECOND FLOOR DECK. AT CEILINGS BELOW SECOND FLOOR PROVIDE (1) LAYER 5/8" TYPE X G.W.B. DOOR INTO HOUSE TO BE SOLID CORE & SELF CLOSING. DUCTS THROUGH WALLS OR CEILING COMMON TO HOUSE MINIMUM 26 GA. STEEL.

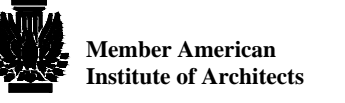
NORTH  
**MAIN FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4"=1'-0"  
0 4

**ELECTRICAL LEGEND**

○	CEILING MOUNTED LED	●	UNDER CABINET LED	⊖	110V OUTLET	⊖	SWITCHED OUTLET	⊖	110V CONNECTION	⊖	SWITCH
⊖	WALL MOUNTED LED	⊖	EXHAUST FAN, 80 CFM, VENT TO OUTSIDE 2.8 CFM/WATT MIN. EFFICACY	⊖	220V OUTLET	⊖	GROUND FAULT	⊖	220V CONNECTION	⊖	3-WAY SWITCH
⊖	WALL MOUNT FLOOD W/ MOTION & PHOTO CELL	⊖	SMOKE DETECTOR, AC W/ BATTERY BACKUP, INTERLINKED.	⊖	WEATHER PROOF	⊖	WEATHER PROOF	⊖	TELEPHONE	⊖	4-WAY SWITCH
⊖	DOUBLE WALL MOUNT FLOOD W/ MOTION & PHOTO CELL	⊖	CARBON MONOXIDE DETECTOR	⊖	FLOOR OUTLET	⊖	FLOOR OUTLET	⊖	TV	⊖	TIMER SWITCH
⊖	CEILING RECESSED LED	⊖		⊖	CLG	⊖	CEILING OUTLET			⊖	DIMMER SWITCH
⊖	CEILING RECESSED EYEBALL LED										

ELECTRICAL SYSTEM TO BE BIDDER DESIGNED  
ALL LIGHTING FIXTURES TO HAVE LED LAMPS

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Puyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 24, 26 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

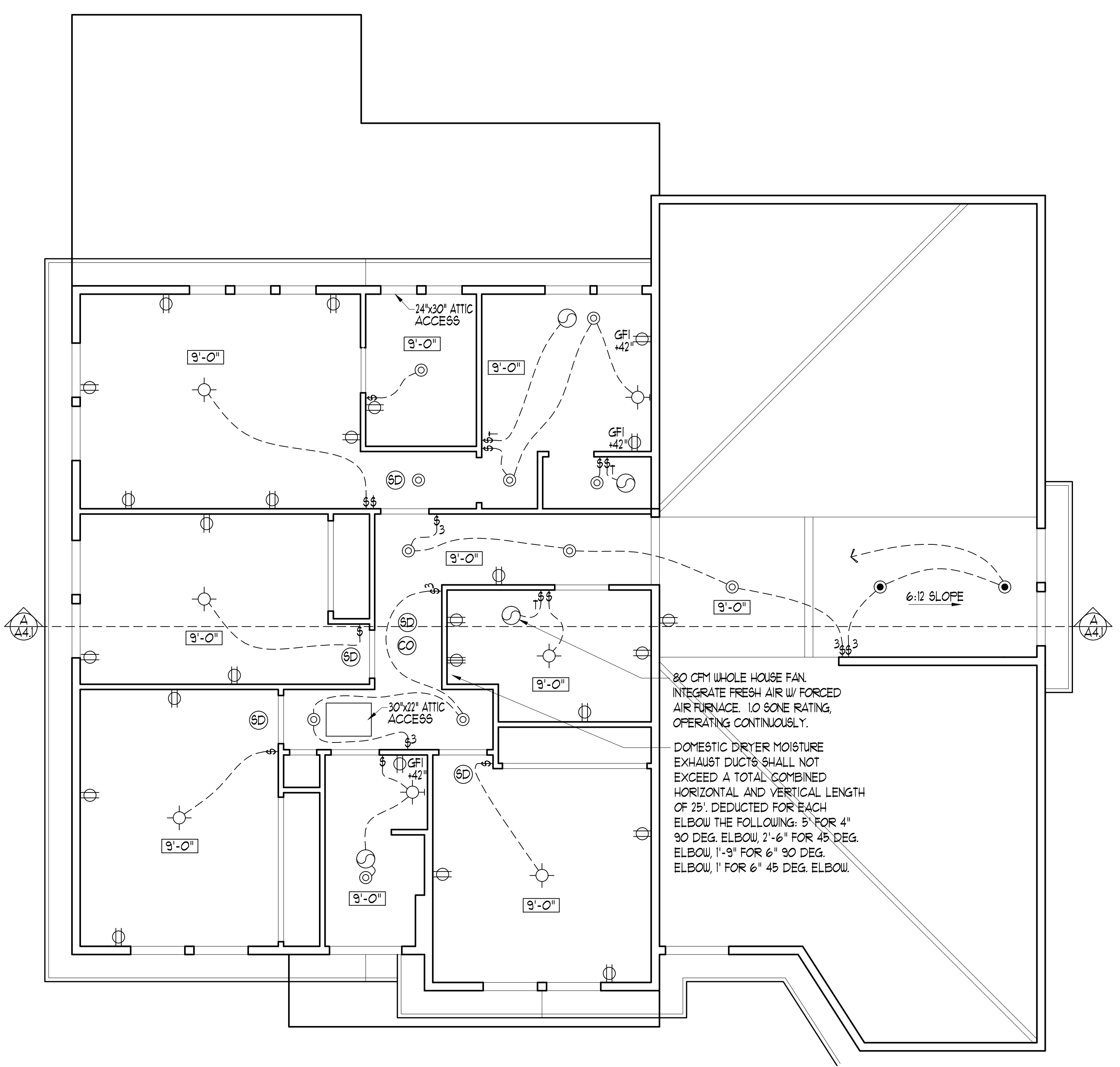
6519 REGISTERED  
ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

REFLECTED CEILING PLANS

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

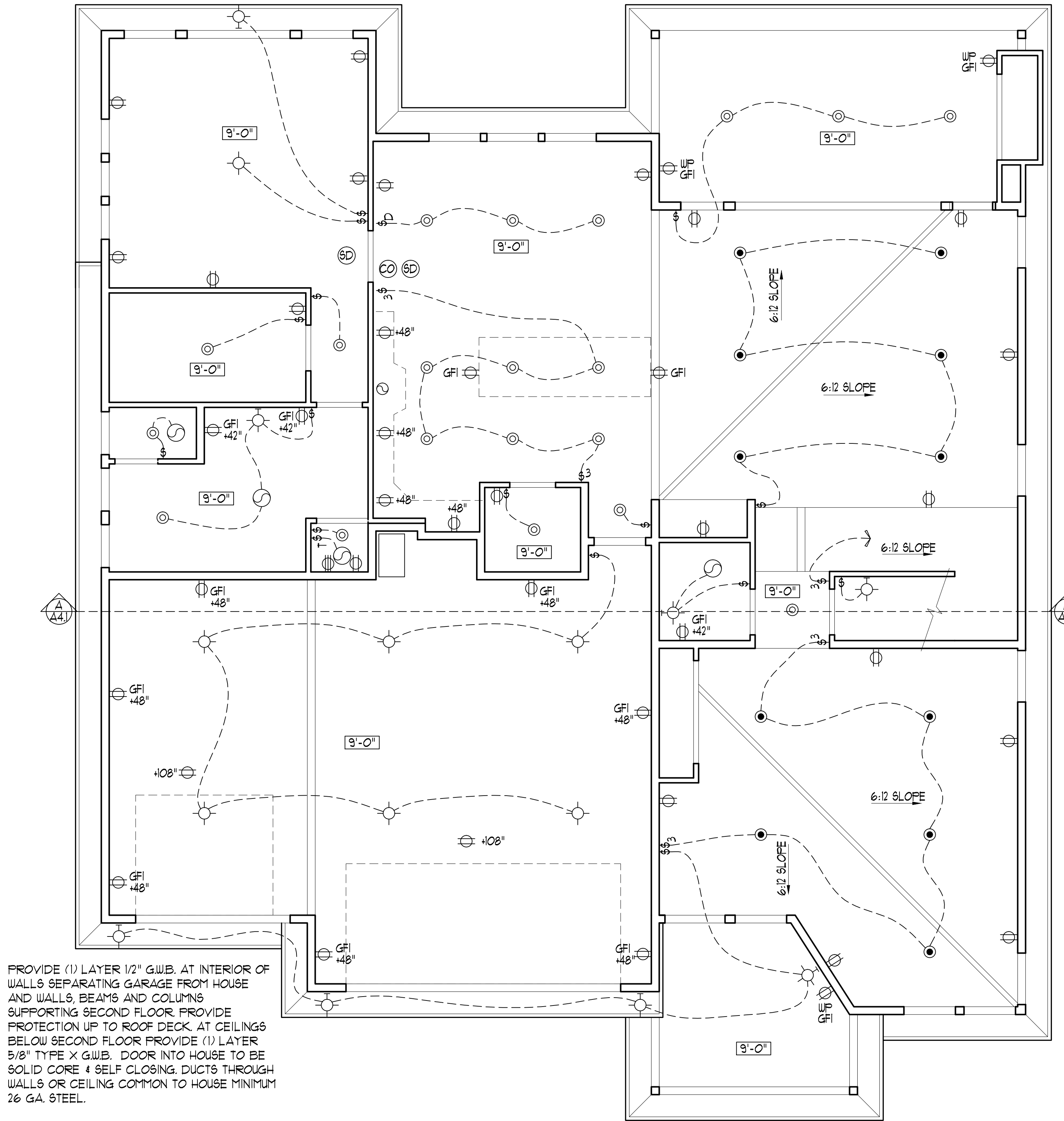
**A2.3**  
HIP ROOF



80 CFM WHOLE HOUSE FAN  
INTEGRATE FRESH AIR W/ FORCED  
AIR FURNACE. LO SONE RATING,  
OPERATING CONTINUOUSLY.

DOMESTIC DRYER MOISTURE  
EXHAUST DUCTS SHALL NOT  
EXCEED A TOTAL COMBINED  
HORIZONTAL AND VERTICAL LENGTH  
OF 25'. DEDUCTED FOR EACH  
ELBOW THE FOLLOWING: 5" FOR 4"  
90 DEG. ELBOW, 2'-6" FOR 45 DEG.  
ELBOW, 1'-9" FOR 6" 90 DEG.  
ELBOW, 1" FOR 6" 45 DEG. ELBOW.

NORTH  
**UPPER FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4"=1'-0"  
0 4



PROVIDE (1) LAYER 1/2" G.W.B. AT INTERIOR OF  
WALLS SEPARATING GARAGE FROM HOUSE  
AND WALLS, BEAMS AND COLUMN  
SUPPORTING SECOND FLOOR. PROVIDE  
PROTECTION UP TO ROOF DECK. AT CEILINGS  
BELOW SECOND FLOOR PROVIDE (1) LAYER  
5/8" TYPE X G.W.B. DOOR INTO HOUSE TO BE  
SOLID CORE & SELF CLOSING. DUCTS THROUGH  
WALLS OR CEILING COMMON TO HOUSE MINIMUM  
26 GA. STEEL.

NORTH  
**MAIN FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4"=1'-0"  
0 4

**ELECTRICAL LEGEND**

ELECTRICAL SYSTEM TO BE BIDDER DESIGNED  
ALL LIGHTING FIXTURES TO HAVE LED LAMPS

○ CEILING MOUNTED LED	● UNDER CABINET LED	⊖ 110V OUTLET	⊕ SWITCH
⊙ WALL MOUNTED LED	○ EXHAUST FAN 80 CFM, VENT TO OUTSIDE 2.8 CFM/WATT MIN. EFFICACY	⊕ 220V OUTLET	⊕ 3-WAY SWITCH
⊙ WALL MOUNT FLOOD W/ MOTION & PHOTO CELL	⊙ SMOKE DETECTOR, AC W/ BATTERY BACKUP, INTERLINKED.	⊕ SWITCHED OUTLET	⊕ 4-WAY SWITCH
⊙ DOUBLE WALL MOUNT FLOOD W/ MOTION & PHOTO CELL	⊙ CARBON MONOXIDE DETECTOR	⊕ GROUND FAULT	⊕ TIMER SWITCH
⊙ CEILING RECESSED LED		⊕ WP WEATHER PROOF	⊕ DIMMER SWITCH
⊙ CEILING RECESSED EYEBALL LED		⊕ FL FLOOR OUTLET	
		⊕ CLG CEILING OUTLET	
		⊕ 110V CONNECTION	
		⊕ 220V CONNECTION	
		⊕ TELEPHONE	
		⊕ TV	

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.3**  
HIP ROOF

SINGLE FAMILY RESIDENCE  
LOTS 2, 4, 6 OF WANG SHORT PLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

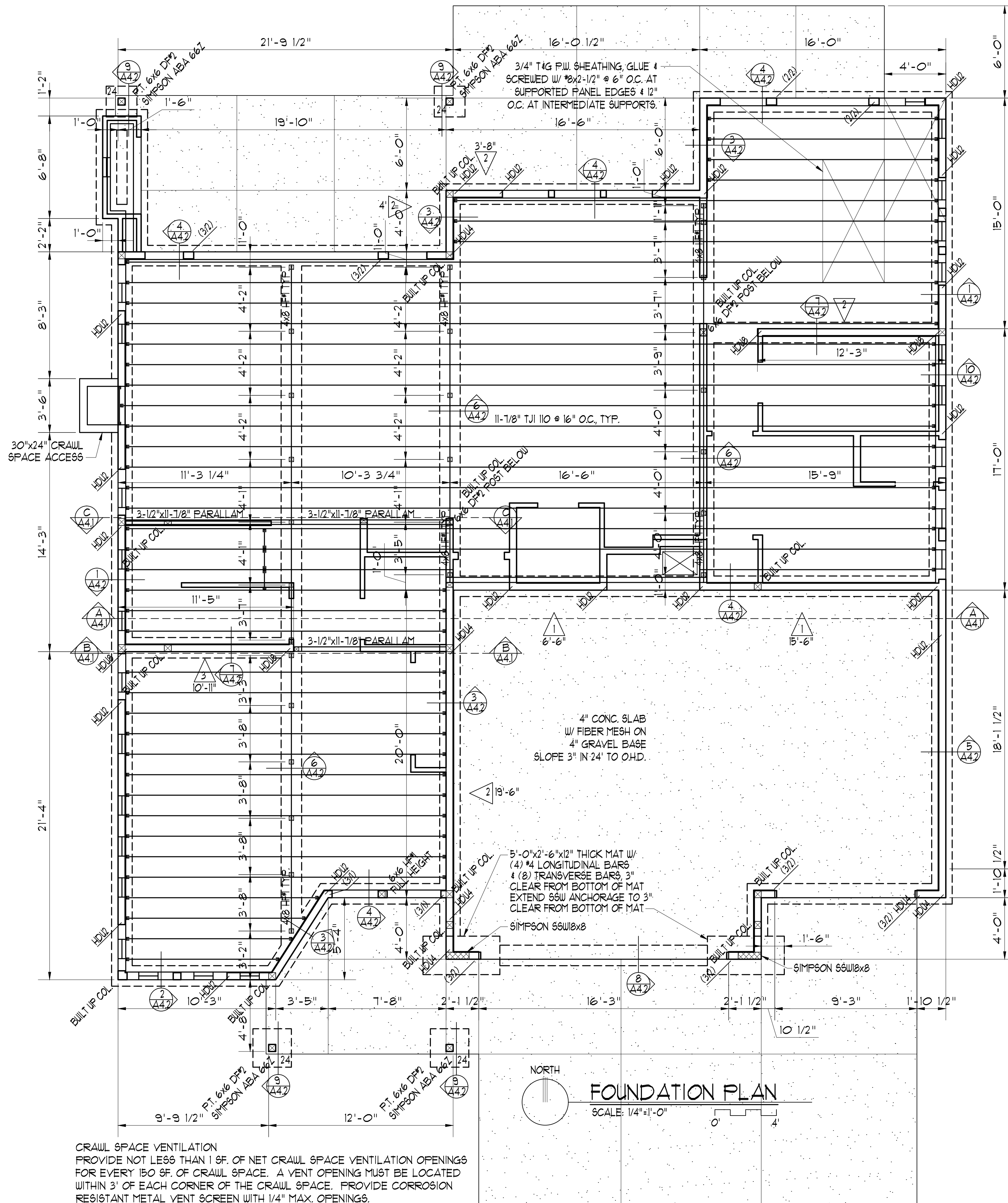
6519 REGISTERED  
ARCHITECT  
*Stephen Dorsey*  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

FOUNDATION PLAN  
UPPER FLOOR FRAMING PLAN

REVISION

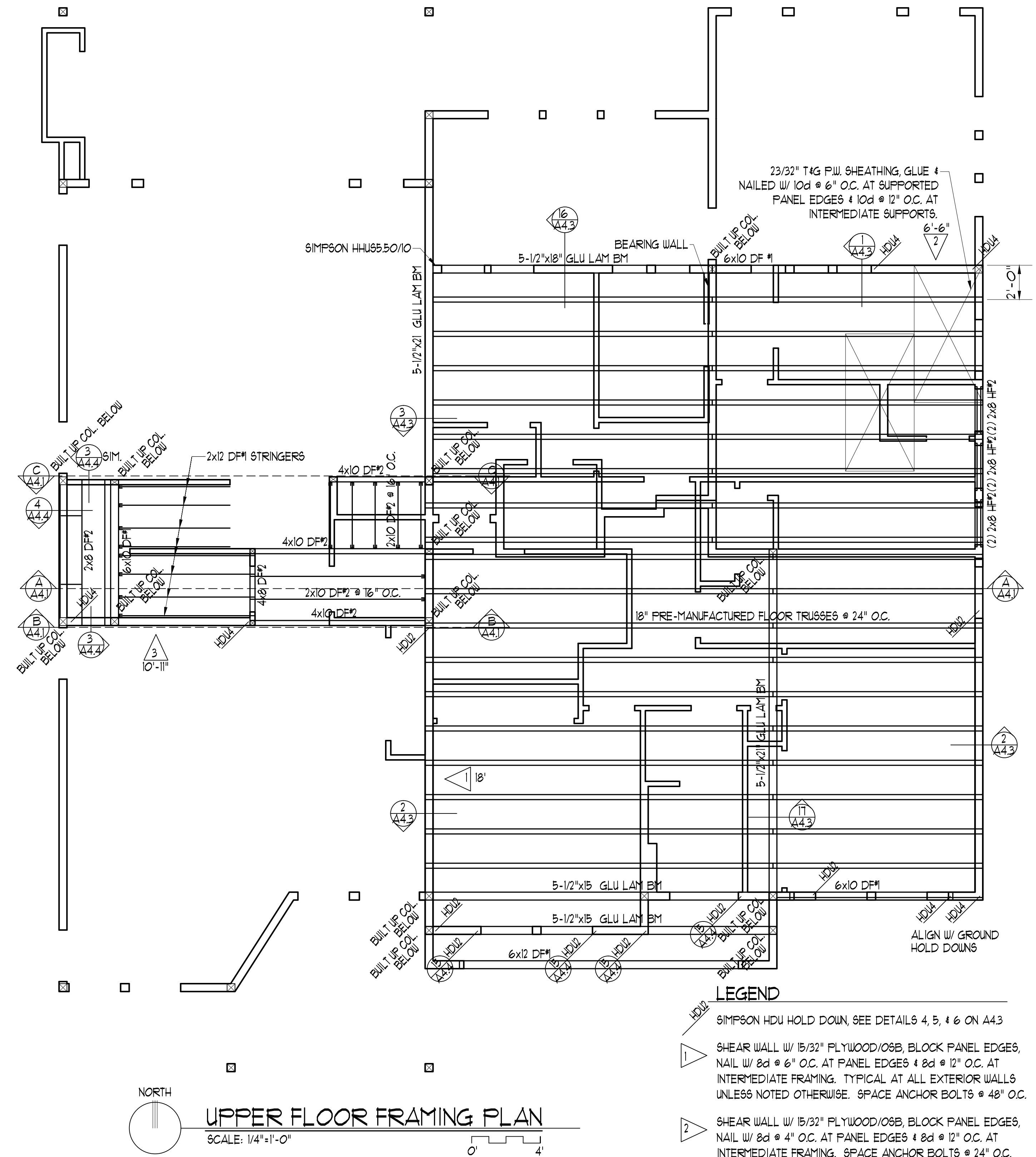
DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.4**  
GARAGE RIGHT





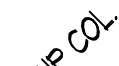
**CRAWL SPACE VENTILATION**  
PROVIDE NOT LESS THAN 1 SF. OF NET CRAWL SPACE VENTILATION OPENINGS FOR EVERY 150 SF. OF CRAWL SPACE. A VENT OPENING MUST BE LOCATED WITHIN 3' OF EACH CORNER OF THE CRAWL SPACE. PROVIDE CORROSION RESISTANT METAL VENT SCREEN WITH 1/4\"/>

NORTH  
**FOUNDATION PLAN**  
SCALE: 1/4\"/>



NORTH  
**UPPER FLOOR FRAMING PLAN**  
SCALE: 1/4\"/>

**LEGEND**

-  SIMPSON HDU HOLD DOWN, SEE DETAILS 4, 5, & 6 ON A4.3
- SHEAR WALL W/ 15/32" PLYWOOD/OSB, BLOCK PANEL EDGES, NAIL W/ 8d @ 6" O.C. AT SUPPORTED PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. TYPICAL AT ALL EXTERIOR WALLS UNLESS NOTED OTHERWISE. SPACE ANCHOR BOLTS @ 48" O.C.
- SHEAR WALL W/ 15/32" PLYWOOD/OSB, BLOCK PANEL EDGES, NAIL W/ 8d @ 4" O.C. AT PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. SPACE ANCHOR BOLTS @ 24" O.C.
- SHEAR WALL W/ 15/32" PLYWOOD/OSB, BLOCK PANEL EDGES, NAIL W/ 8d @ 3" O.C. AT PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. SPACE ANCHOR BOLTS @ 24" O.C.
-  INDICATES NUMBER OF FULL HEIGHT AND NUMBER OF CRIPPLE STUDS BELOW HEADERS. PROVIDE (1/1) UNLESS NOTED OTHERWISE.
-  FOR TYPICAL BUILT UP COLUMN SEE DETAIL 6 ON A 4.4

Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

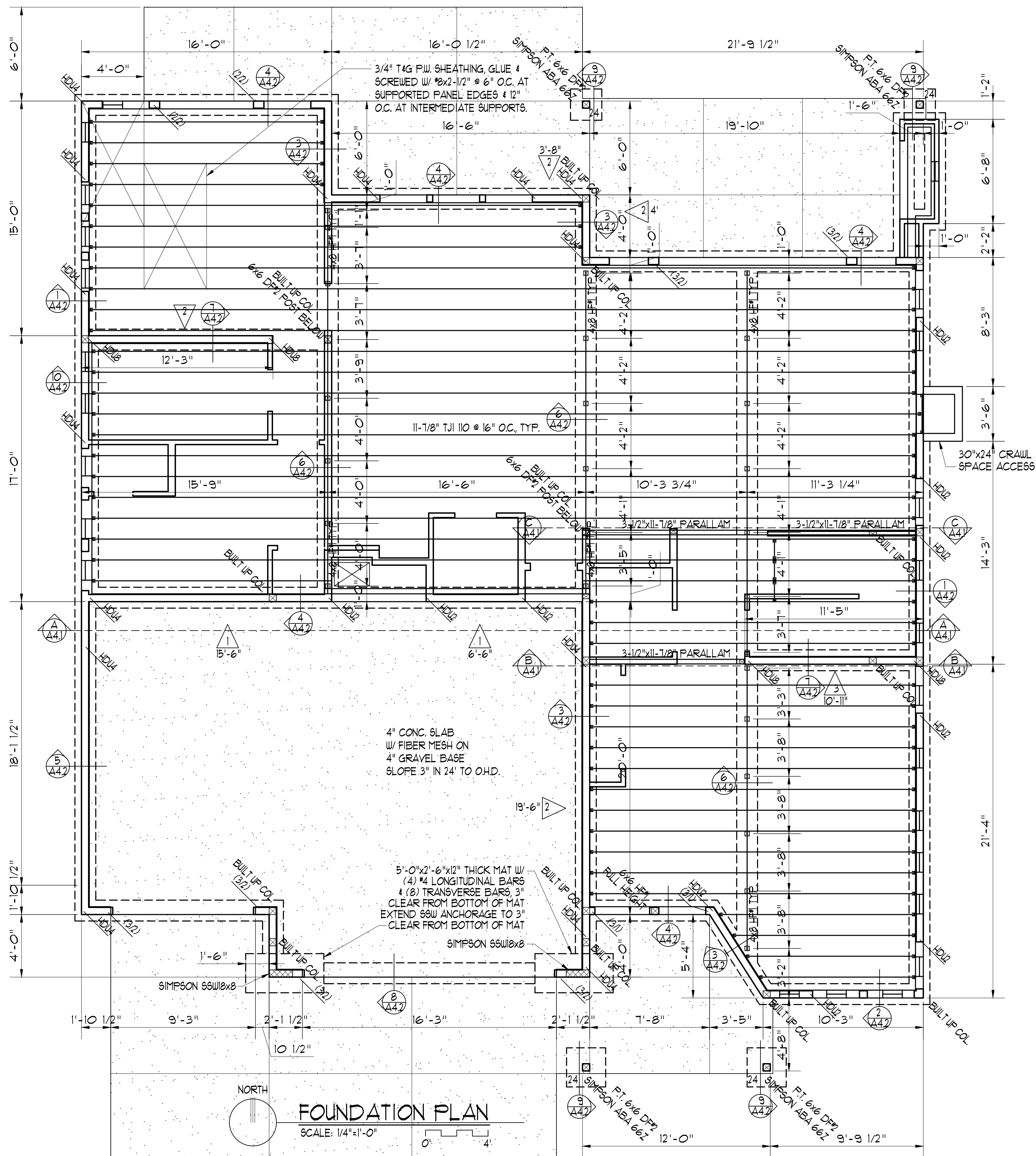
6519 REGISTERED  
ARCHITECT  
*Stephen Dorsey*  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

FOUNDATION PLAN  
UPPER FLOOR FRAMING PLAN

REVISION

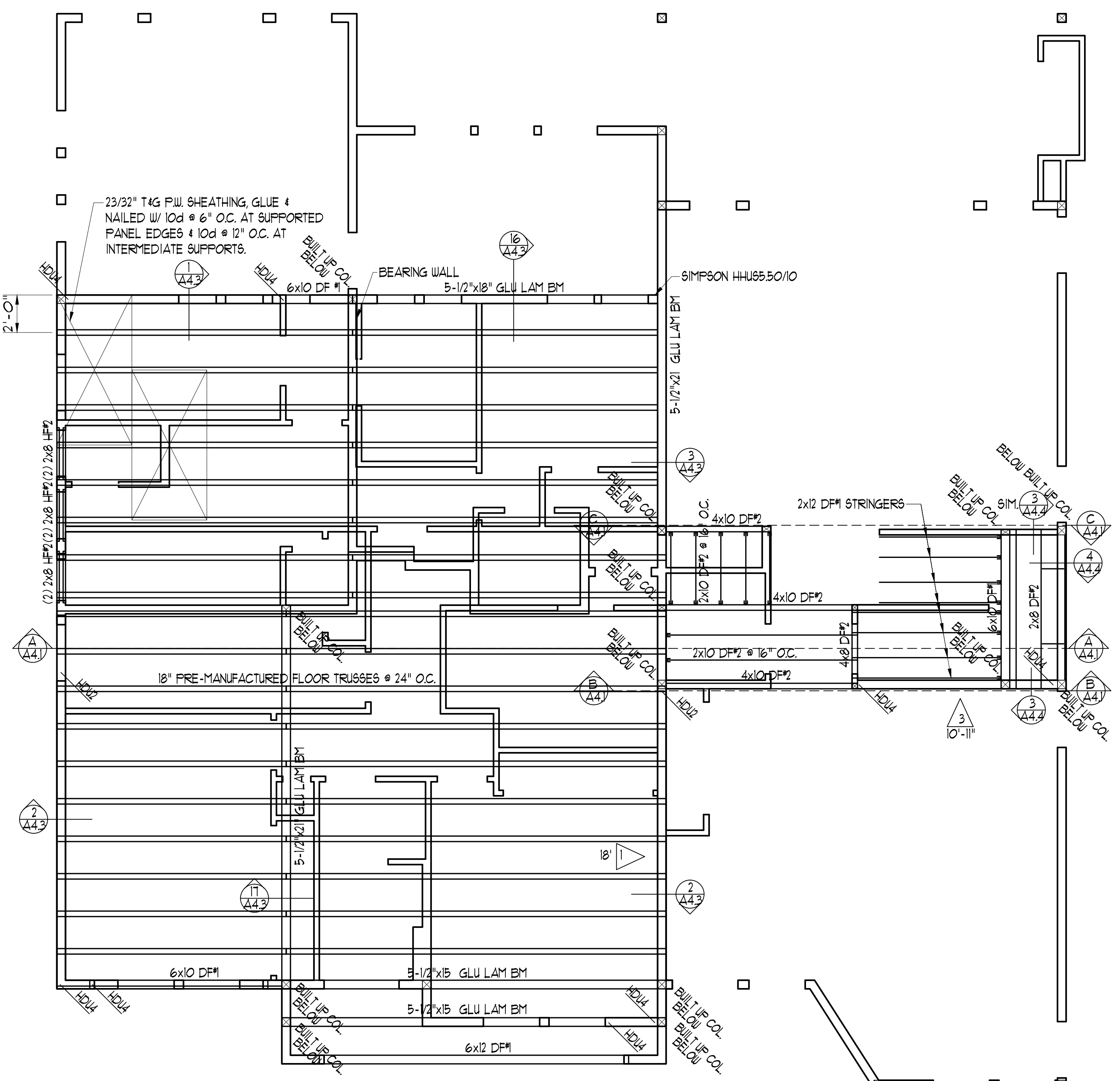
DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.4**  
GARAGE LEFT



**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

**CRAWL SPACE VENTILATION**  
PROVIDE NOT LESS THAN 1 SF. OF NET CRAWL SPACE VENTILATION OPENINGS FOR EVERY 150 SF. OF CRAWL SPACE. A VENT OPENING MUST BE LOCATED WITHIN 3' OF EACH CORNER OF THE CRAWL SPACE. PROVIDE CORROSION RESISTANT METAL VENT SCREEN WITH 1/4" MAX. OPENINGS.  
1811 SF. CRAWL SPACE / 150 = 12.07 SF. OF CRAWL SPACE VENTILATION.  
PROVIDE (24) MIN. 15"x1" VENTS AT 73 SQ. IN. OF CLEAR VENT AREA EACH VENT. LOCATE VENTS, EVENLY DISTRIBUTED IN FOUNDATION WALL. PROVIDE CLASS 1 VAPOR RETARDER OVER CRAWL SPACE. LAP SEAMS 12" & TAPE.

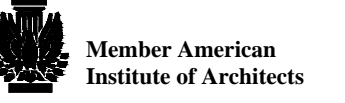


**UPPER FLOOR FRAMING PLAN**  
SCALE: 1/4"=1'-0"

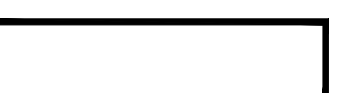
- LEGEND**
- SIMPSON HDU HOLD DOWN, SEE DETAILS 4, 5, & 6 ON A43
  - SHEAR WALL W/ 15/32" PLYWOOD/OSB, BLOCK PANEL EDGES, NAIL W/ 8d @ 6" O.C. AT PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. TYPICAL AT ALL EXTERIOR WALLS UNLESS NOTED OTHERWISE. SPACE ANCHOR BOLTS @ 48" O.C.
  - SHEAR WALL W/ 15/32" PLYWOOD/OSB, BLOCK PANEL EDGES, NAIL W/ 8d @ 4" O.C. AT PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. SPACE ANCHOR BOLTS @ 24" O.C.
  - SHEAR WALL W/ 15/32" PLYWOOD/OSB, BLOCK PANEL EDGES, NAIL W/ 8d @ 3" O.C. AT PANEL EDGES & 8d @ 12" O.C. AT INTERMEDIATE FRAMING. SPACE ANCHOR BOLTS @ 24" O.C.
  - INDICATES NUMBER OF FULL HEIGHT AND NUMBER OF CRIPPLE STUDS BELOW HEADERS. PROVIDE (1/1) UNLESS NOTED OTHERWISE.  
FOR TYPICAL BUILT UP COLUMN SEE DETAIL 6 ON A 44



Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 24, 26 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058



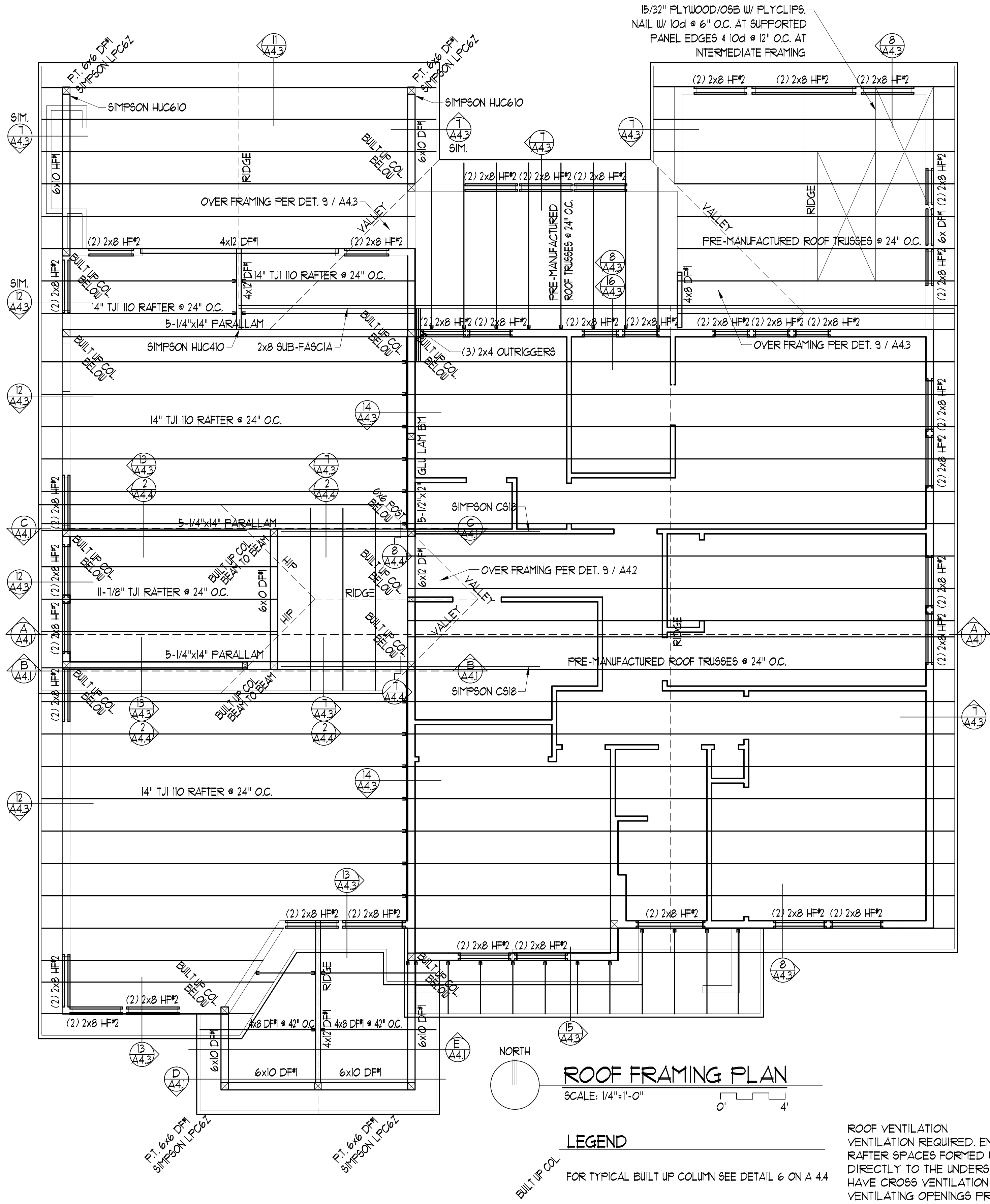
FOUNDATION PLAN  
UPPER FLOOR FRAMING PLAN



REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

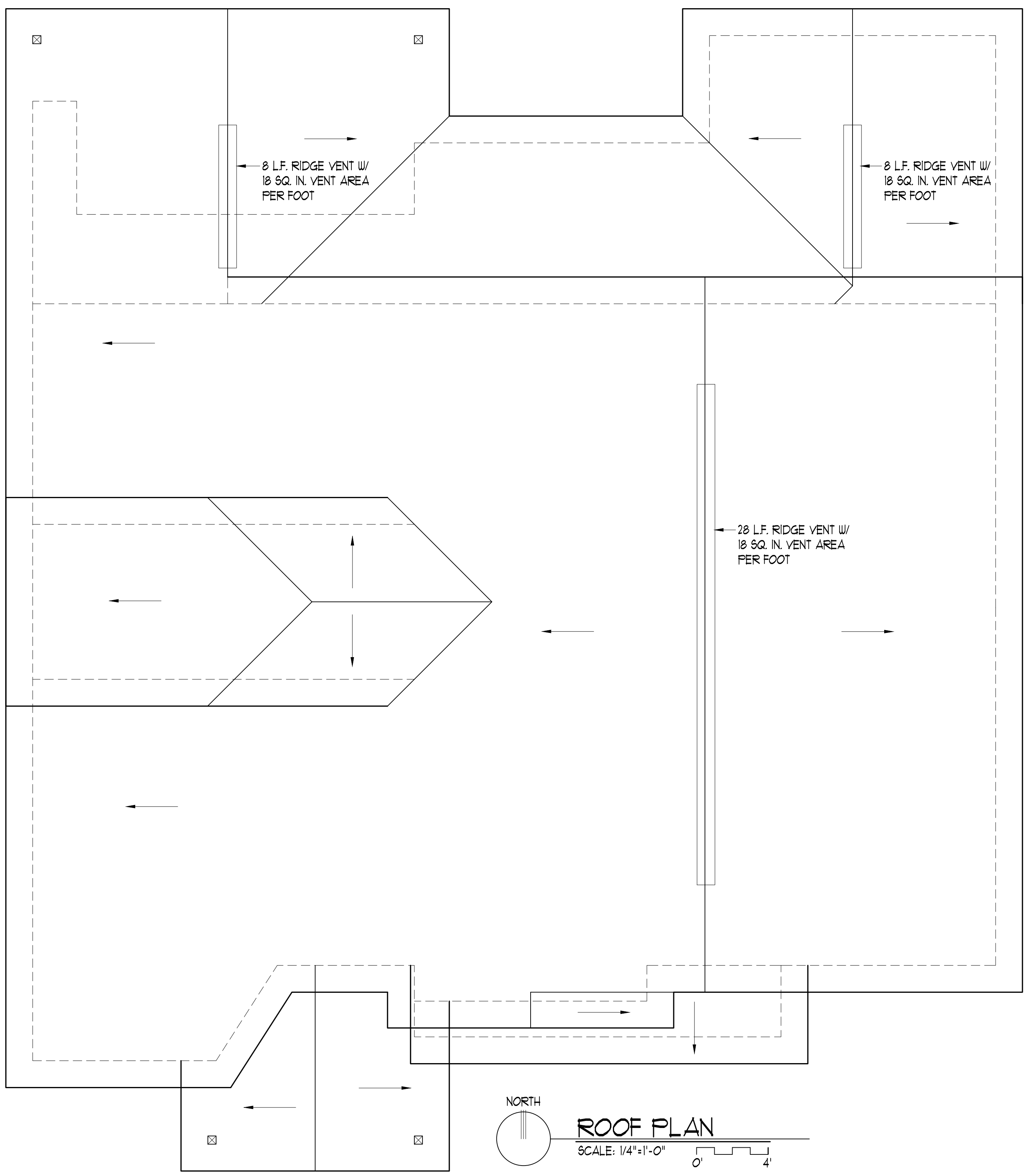
**A2.4**  
HIP ROOF



**ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"

**LEGEND**  
FOR TYPICAL BUILT UP COLUMN SEE DETAIL 6 ON A 4.4

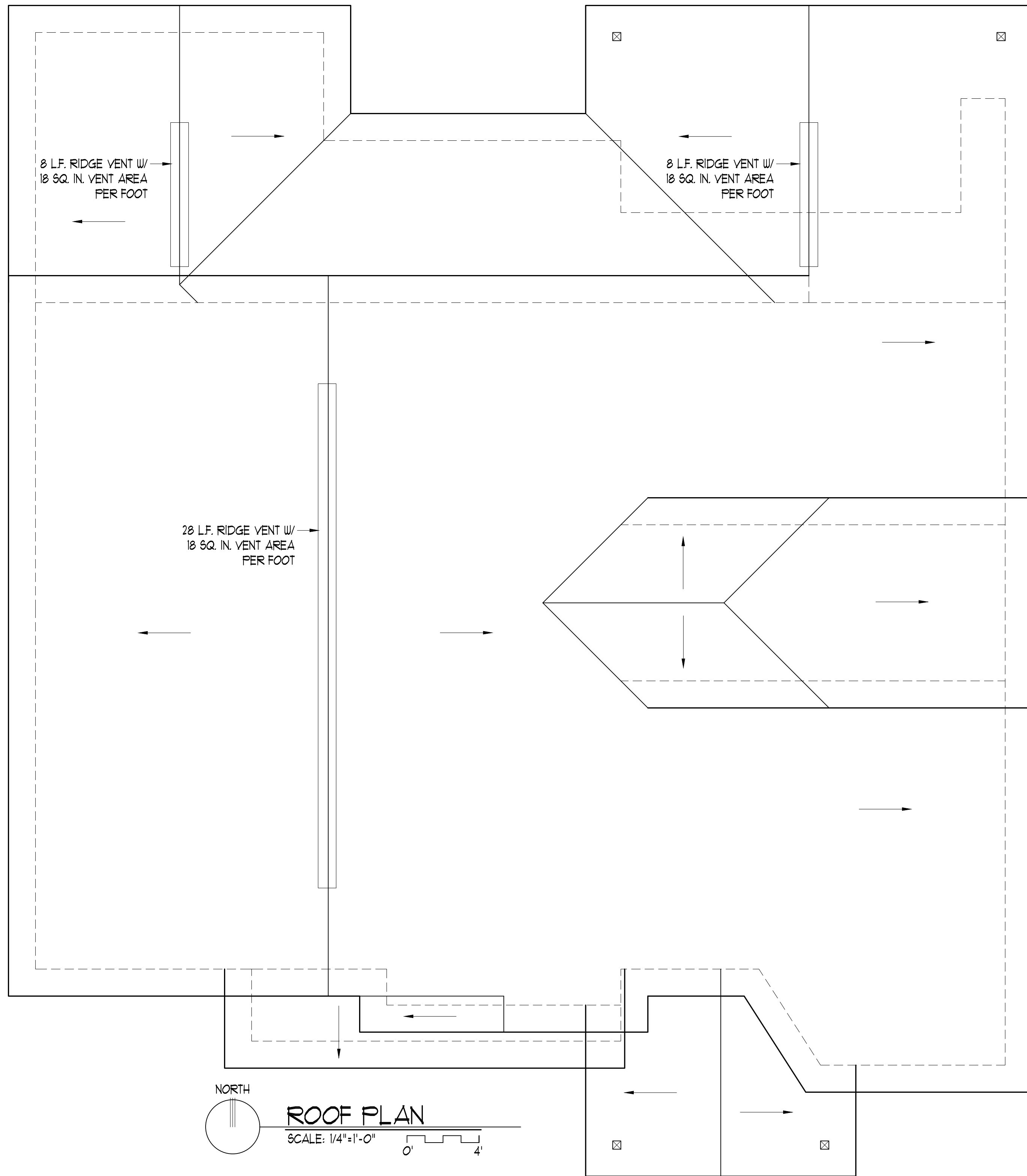
ROOF VENTILATION  
VENTILATION REQUIRED. ENCLOSED ATTICS AND ENCLOSED  
RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED  
DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL  
HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY  
VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE  
OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE  
PROVIDED WITH CORROSION RESISTANT WIRE MESH, WITH 1/8"  
MINIMUM TO 1/4" MAXIMUM OPENINGS. MINIMUM AREA, THE  
TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS  
THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED  
EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE  
REDUCED TO 1 TO 300, PROVIDE AT LEAST 40 PERCENT  
AND NOT MORE THAN 50 PERCENT OF THE REQUIRED AREA  
IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER  
PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3  
FEET ABOVE EAVE OR CORNICE VENTS.



**ROOF PLAN**  
SCALE: 1/4"=1'-0"

MAIN ATTIC AREA: 2,056 SF. PROVIDE 3.43 SF. MIN. OF  
ATTIC VENTILATION AREA WITH RIDGE VENTS LOCATED 3'  
VERTICALLY ABOVE EAVES VENTS & EVENLY DISTRIBUTED  
ACROSS ATTIC. 28 L.F. MIN. OF RIDGE VENT W/ 18 SQ. IN.  
VENT AREA PER FOOT PROVIDES 3.50 SF. OF VENT AREA.  
PROVIDE 3.43 SF. MIN. OF VENTILATION AREA WITH EAVES  
VENTS. AT ROOF TRUSSES PROVIDE 2" DIA. SCREENED  
HOLES @ 6" O.C. IN BIRD BLOCKING. 56 L.F. OF BIRD  
BLOCKING PROVIDES 183 SF. OF VENT AREA. AT TJI JOIST  
PROVIDE 2-1/2" DIA. SCREENED HOLES @ 8" O.C. IN BIRD  
BLOCKING. 41 L.F. OF BIRD BLOCKING PROVIDES 180 SF.  
OF VENT AREA. PROVIDE 2" VENT HOLES @ 6" O.C. AT  
UPPER END OF JOIST CHANNELS CONNECTING TO ATTIC.

ATTIC OVER GARAGE DOOR AREA: 51 SF. PROVIDE 0.38  
SF. OF ATTIC VENTILATION AREA WITH EAVES VENTS WITH 2"  
DIA. SCREENED HOLES @ 8" O.C. IN BIRD BLOCKING. 20 L.F.  
OF BIRD BLOCKING PROVIDES 0.43 SF. OF VENT AREA.  
  
ATTIC AT REAR OF HOUSE AREA: 111 SF. PROVIDE 1/19 SF.  
MIN. OF ATTIC VENTILATION AREA WITH RIDGE VENTS  
LOCATED 3' VERTICALLY ABOVE EAVES VENTS & EVENLY  
DISTRIBUTED ACROSS ATTIC. 10 L.F. MIN. OF RIDGE VENT  
W/ 18 SQ. IN. VENT AREA PER FOOT PROVIDES 1.25 SF. OF  
VENT AREA.  
PROVIDE 1/19 SF. MIN. OF VENTILATION AREA WITH EAVES  
VENTS. PROVIDE 2" DIA. SCREENED HOLES @ 8" O.C. IN  
BIRD BLOCKING. 52 L.F. OF BIRD BLOCKING PROVIDES 121  
SF. OF VENT AREA.

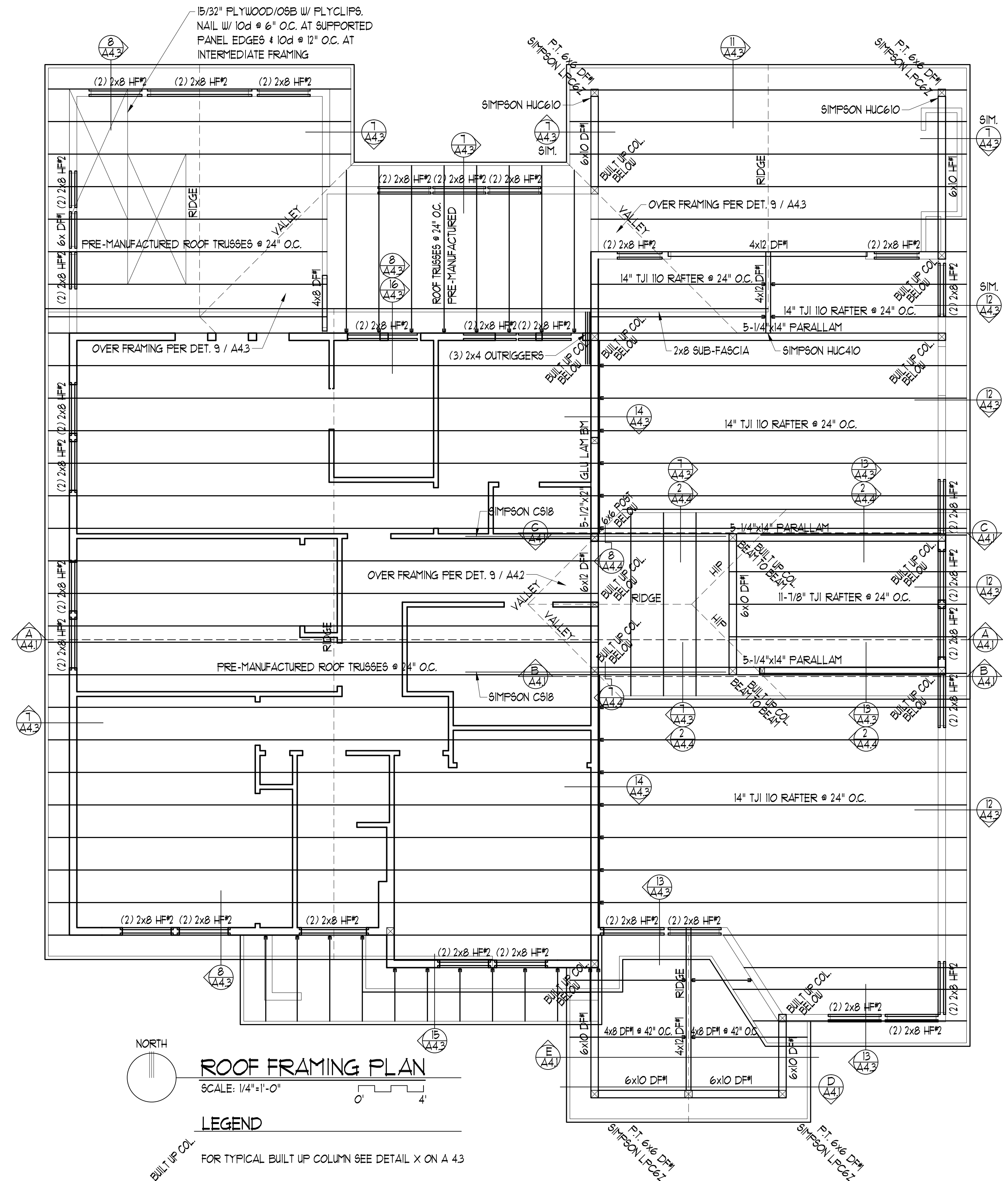


ROOF VENTILATION  
 VENTILATION REQUIRED. ENCLOSED ATTICS AND ENCLOSED  
 RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED  
 DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL  
 HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY  
 VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE  
 OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE  
 PROVIDED WITH CORROSION RESISTANT WIRE MESH, WITH 1/8"  
 MINIMUM TO 1/4" MAXIMUM OPENINGS. MINIMUM AREA, THE  
 TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS  
 THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED  
 EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE  
 REDUCED TO 1 TO 300, PROVIDE AT LEAST 40 PERCENT  
 AND NOT MORE THAN 50 PERCENT OF THE REQUIRED AREA  
 IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER  
 PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3  
 FEET ABOVE EAVE OR CORNICE VENTS.

MAIN ATTIC AREA: 2056 SF. PROVIDE 343 SF. MIN. OF ATTIC  
 VENTILATION AREA WITH RIDGE VENTS LOCATED 3' VERTICALLY  
 ABOVE EAVES VENTS & EVENLY DISTRIBUTED ACROSS ATTIC. 28  
 L.F. MIN. OF RIDGE VENT W/ 18 SQ. IN. VENT AREA PER FOOT  
 PROVIDES 350 SF. OF VENT AREA.  
 PROVIDE 343 SF. MIN. OF VENTILATION AREA WITH EAVES VENTS.  
 AT ROOF TRUSSES PROVIDE 2" DIA. SCREENED HOLES @ 6" O.C. IN  
 BIRD BLOCKING. 56 L.F. OF BIRD BLOCKING PROVIDES 183 SF. OF  
 VENT AREA. AT TJI JOIST PROVIDE 2-1/2" DIA. SCREENED HOLES @  
 8" O.C. IN BIRD BLOCKING. 41 L.F. OF BIRD BLOCKING PROVIDES  
 180 SF. OF VENT AREA. PROVIDE 2" VENT HOLES @ 6" O.C. AT  
 UPPER END OF JOIST CHANNELS CONNECTING TO ATTIC.

ATTIC OVER GARAGE DOOR AREA: 51 SF. PROVIDE 0.38 SF. OF  
 ATTIC VENTILATION AREA WITH EAVES VENTS WITH 2" DIA.  
 SCREENED HOLES @ 8" O.C. IN BIRD BLOCKING. 20 L.F. OF BIRD  
 BLOCKING PROVIDES 0.49 SF. OF VENT AREA.

ATTIC AT REAR OF HOUSE AREA: 711 SF. PROVIDE 119 SF.  
 MIN. OF ATTIC VENTILATION AREA WITH RIDGE VENTS  
 LOCATED 3' VERTICALLY ABOVE EAVES VENTS & EVENLY  
 DISTRIBUTED ACROSS ATTIC. 10 L.F. MIN. OF RIDGE VENT  
 W/ 18 SQ. IN. VENT AREA PER FOOT PROVIDES 125 SF. OF  
 VENT AREA.  
 PROVIDE 119 SF. MIN. OF VENTILATION AREA WITH EAVES  
 VENTS. PROVIDE 2" DIA. SCREENED HOLES @ 8" O.C. IN  
 BIRD BLOCKING. 52 L.F. OF BIRD BLOCKING PROVIDES 121  
 SF. OF VENT AREA.



LEGEND  
 FOR TYPICAL BUILT UP COLUMN SEE DETAIL X ON A 43

Stephen Dorsey AIA  
 Architect  
 734 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 2,4,6 OF WANG SHORT FLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

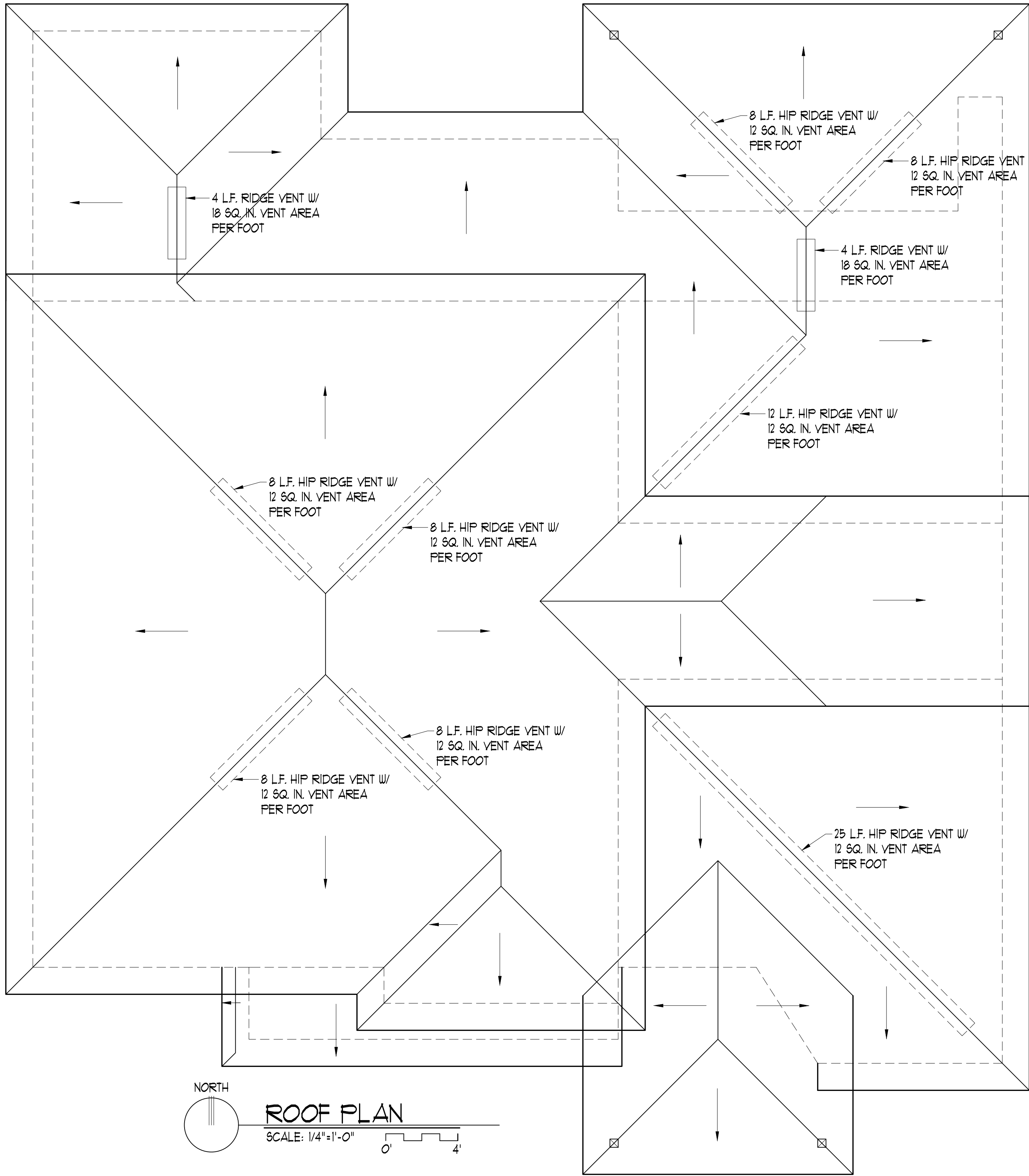
6519 REGISTERED  
 ARCHITECT  
 Stephen Dorsey  
 STEPHEN ARTHUR DORSEY  
 STATE OF WASHINGTON

ROOF FRAMING PLAN

REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

A2.5  
 GARAGE LEFT



**ROOF PLAN**  
SCALE: 1/4"=1'-0"

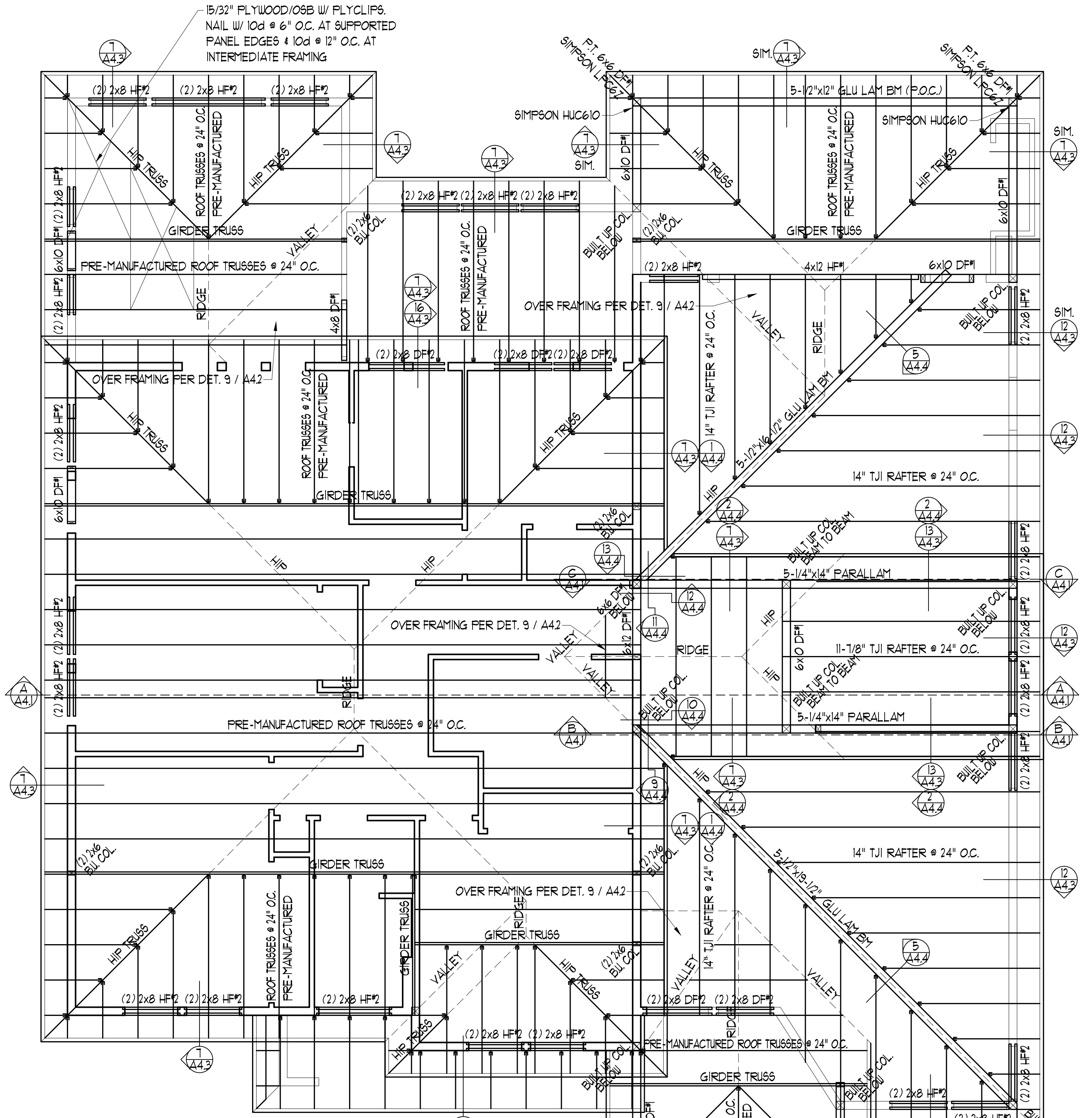
ROOF VENTILATION VENTILATION REQUIRED. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE MESH, WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS. MINIMUM AREA, THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDE AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

MAIN ATTIC AREA: 1413 SF. PROVIDE 236 SF. MIN. OF ATTIC VENTILATION AREA WITH HIP RIDGE VENTS LOCATED 3' VERTICALLY ABOVE EAVES VENTS & EVENLY DISTRIBUTED ACROSS ATTIC. 32 L.F. MIN. OF HIP RIDGE VENT W/ 12 SQ. IN. VENT AREA PER FOOT PROVIDES 267 SF. OF VENT AREA.  
PROVIDE 236 SF. MIN. OF VENTILATION AREA WITH EAVES VENTS WITH 2" DIA. SCREENED HOLES @ 12" O.C. IN BIRD BLOCKING. 160 L.F. OF BIRD BLOCKING PROVIDES 262 SF. OF VENT AREA.  
ATTIC OVER GARAGE DOOR AREA: 51 SF. PROVIDE 0.38 SF. OF ATTIC VENTILATION AREA WITH EAVES VENTS WITH 2" DIA. SCREENED HOLES @ 8" O.C. IN BIRD BLOCKING. 20 L.F. OF BIRD BLOCKING PROVIDES 0.49 SF. OF VENT AREA.

ATTIC AT REAR OF HOUSE AREA: 711 SF. PROVIDE 119 SF. MIN. OF ATTIC VENTILATION AREA WITH RIDGE VENTS LOCATED 3' VERTICALLY ABOVE EAVES VENTS & EVENLY DISTRIBUTED ACROSS ATTIC. 7 L.F. MIN. OF RIDGE VENT W/ 18 SQ. IN. VENT AREA PER FOOT PROVIDES 0.875 SF. OF VENT AREA & 8 L.F. OF HIP RIDGE VENT W/ 12 SQ. IN. VENT AREA PER FOOT PROVIDES 0.67 SF. OF VENT AREA.  
PROVIDE 119 SF. MIN. OF VENTILATION AREA WITH EAVES VENTS. PROVIDE 2" DIA. SCREENED HOLES @ 12" O.C. IN BIRD BLOCKING. 94 L.F. OF BIRD BLOCKING PROVIDES 3.01 SF. OF VENT AREA.

LIVING ROOM ATTIC AREA: 456 SF. PROVIDE 0.76 SF. MIN. OF ATTIC VENTILATION AREA WITH HIP RIDGE VENTS LOCATED 3' VERTICALLY ABOVE EAVES VENTS & EVENLY DISTRIBUTED ACROSS ATTIC. 25 L.F. MIN. OF HIP RIDGE VENT W/ 12 SQ. IN. VENT AREA PER FOOT PROVIDES 2.08 SF. OF VENT AREA.  
PROVIDE 0.76 SF. MIN. OF VENTILATION AREA AT EAVES VENTS W/ 2-1/2" DIA. SCREENED HOLES @ 8" O.C. IN BIRD BLOCKING. 30 L.F. OF BIRD BLOCKING PROVIDES 1.19 SF. OF VENT AREA. PROVIDE VENTS AT EACH END OF JOIST CHANNELS.

FAMILY ROOM ATTIC AREA: 424 SF. PROVIDE 0.71 SF. MIN. OF ATTIC VENTILATION AREA WITH HIP RIDGE VENTS LOCATED 3' VERTICALLY ABOVE EAVES VENTS & EVENLY DISTRIBUTED ACROSS ATTIC. 12 L.F. MIN. OF HIP RIDGE VENT W/ 12 SQ. IN. VENT AREA PER FOOT PROVIDES 1.00 SF. OF VENT AREA.  
PROVIDE 0.71 SF. MIN. OF VENTILATION AREA AT EAVES VENTS W/ 2-1/2" DIA. SCREENED HOLES @ 8" O.C. IN BIRD BLOCKING. 28 L.F. OF BIRD BLOCKING PROVIDES 1.01 SF. OF VENT AREA. PROVIDE VENTS AT EACH END OF JOIST CHANNELS.



**ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"

**LEGEND**  
FOR TYPICAL BUILT UP COLUMN SEE DETAIL X ON A 43

Stephen Dorsey, AIA  
Architect  
734 - 23rd St. SW  
Frydahl, WA 98371  
Tel: (253) 845-5106



**SINGLE FAMILY RESIDENCE**  
**LOTS 2,4,6 OF WANG SHORT FLAT**  
**19016 116TH AVE SE**  
**RENTON, WASHINGTON 98058**

6519 REGISTERED ARCHITECT  
**Stephen Dorsey**  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

**ROOF FRAMING PLAN**

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A2.5**  
HIP ROOF

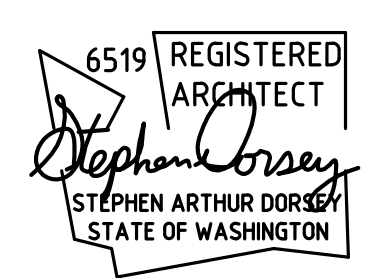
Stephen Dorsey, AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253)845-5106



Member American Institute of Architects

SINGLE FAMILY RESIDENCE  
 LOTS 2,4,6 OF WANG SHORT FLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

6519 REGISTERED ARCHITECT



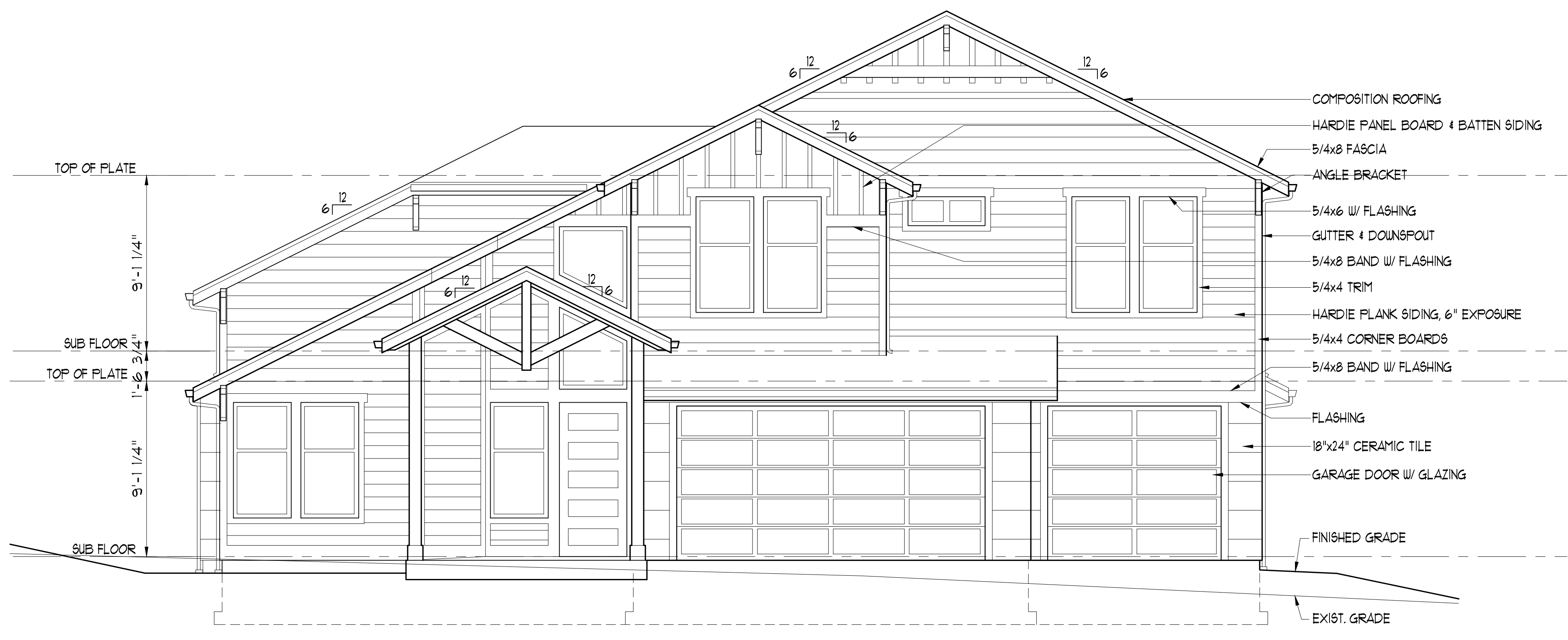
6519 REGISTERED ARCHITECT

EXTERIOR ELEVATIONS

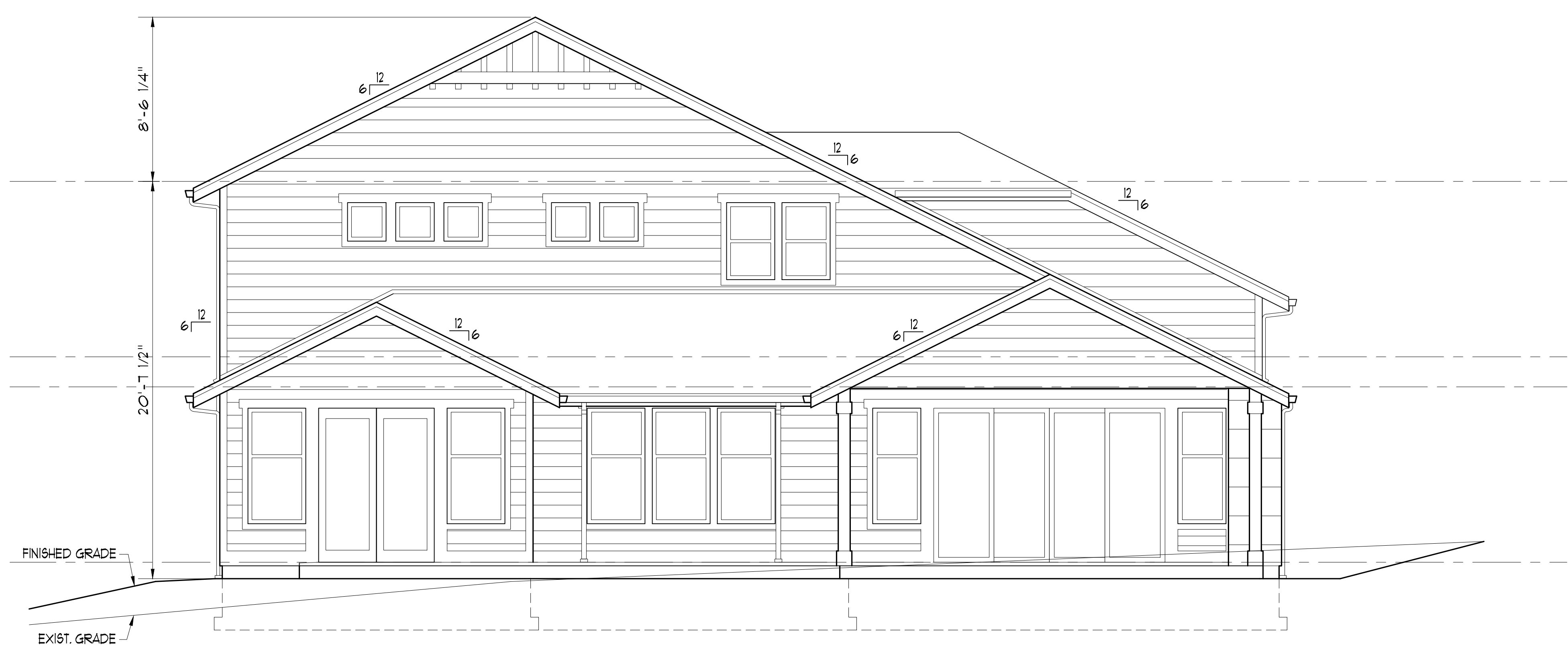
REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

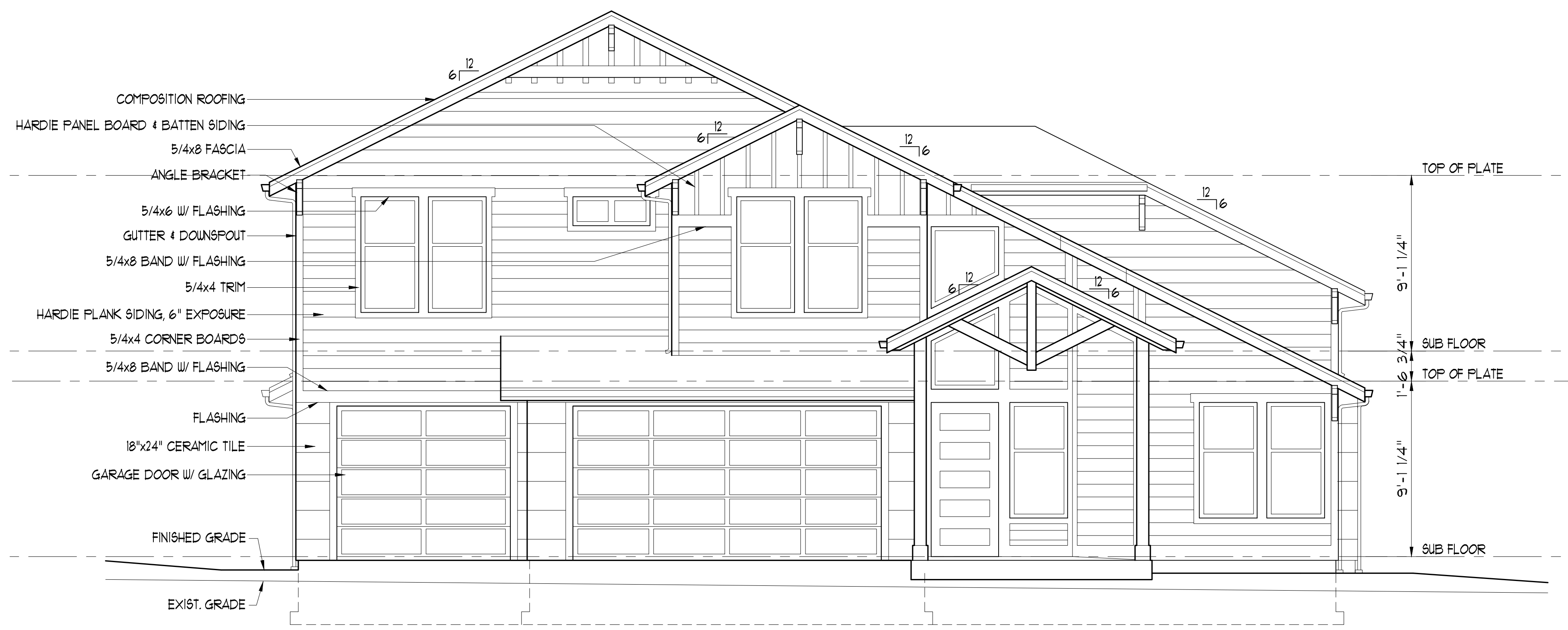
A3.1  
 GARAGE RIGHT



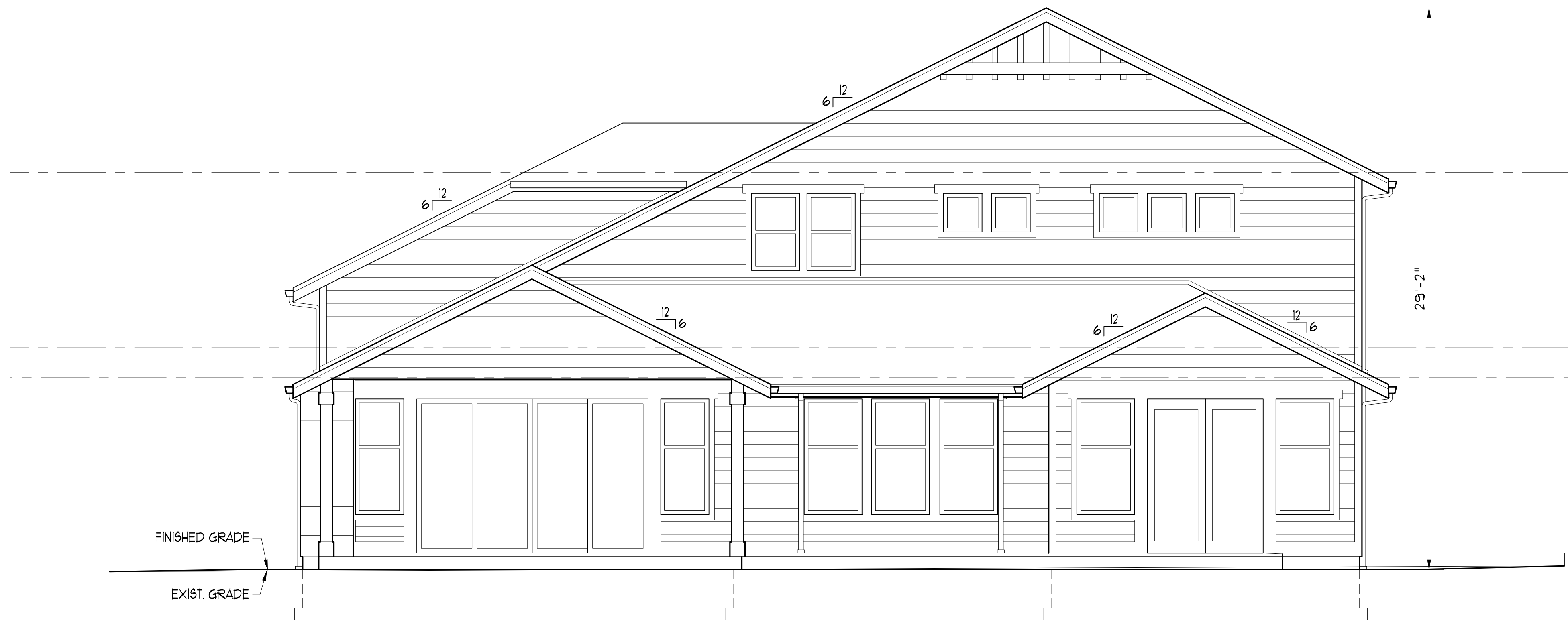
SOUTH ELEVATION  
 SCALE: 1/4"=1'-0"  
 0' 4'



NORTH ELEVATION  
 SCALE: 1/4"=1'-0"  
 0' 4'



**SOUTH ELEVATION**  
 SCALE: 1/4"=1'-0"  
 0' 4'

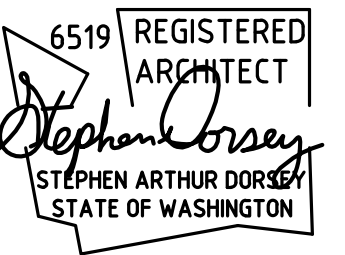


**NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"  
 0' 4'

Stephen Dorsey, AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 24, 26 OF WANG SHORT PLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058



EXTERIOR  
 ELEVATIONS

REVISION

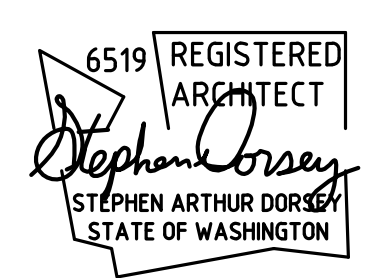
DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

**A3.1**  
 GARAGE LEFT

Stephen Dorsey, AIA  
 Architect  
 734 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 24, 26 OF WANG SHORT FLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

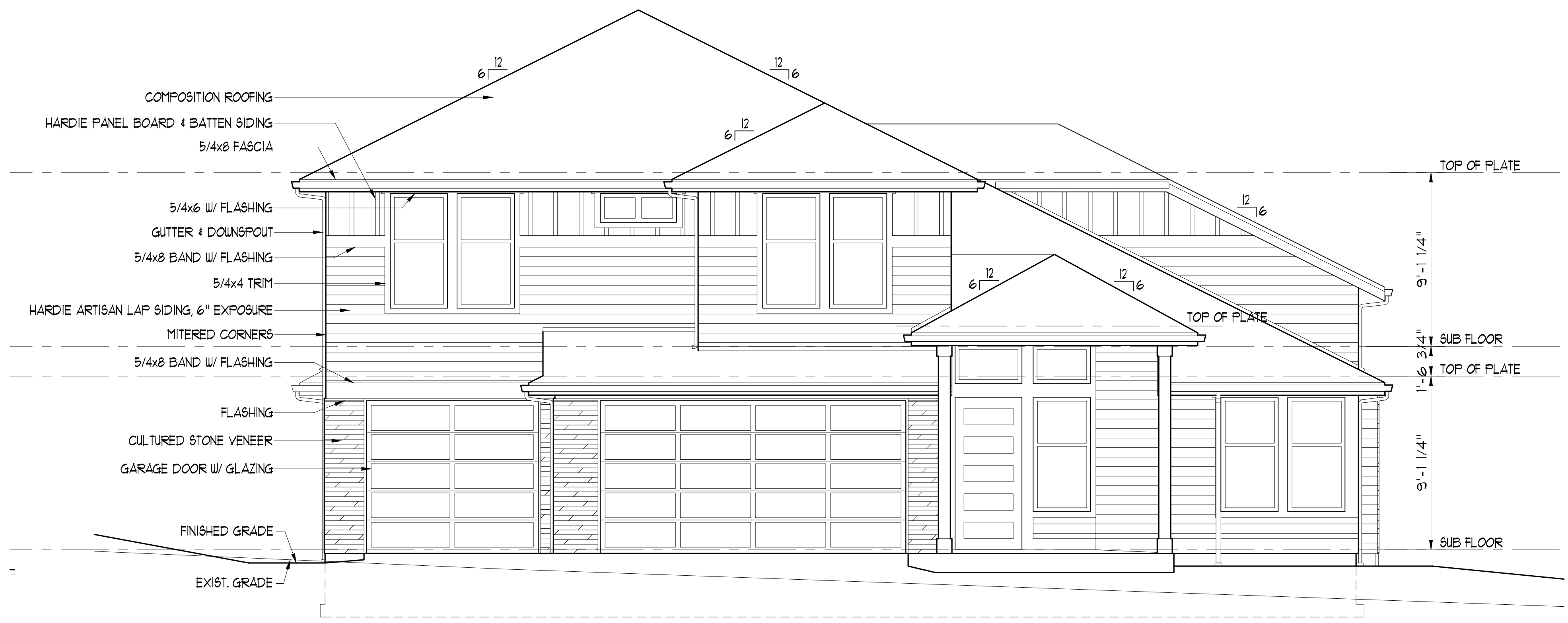


EXTERIOR  
 ELEVATIONS

REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

**A3.1**  
 HIP ROOF



**SOUTH ELEVATION**  
 SCALE: 1/4"=1'-0"  
 0' 4'

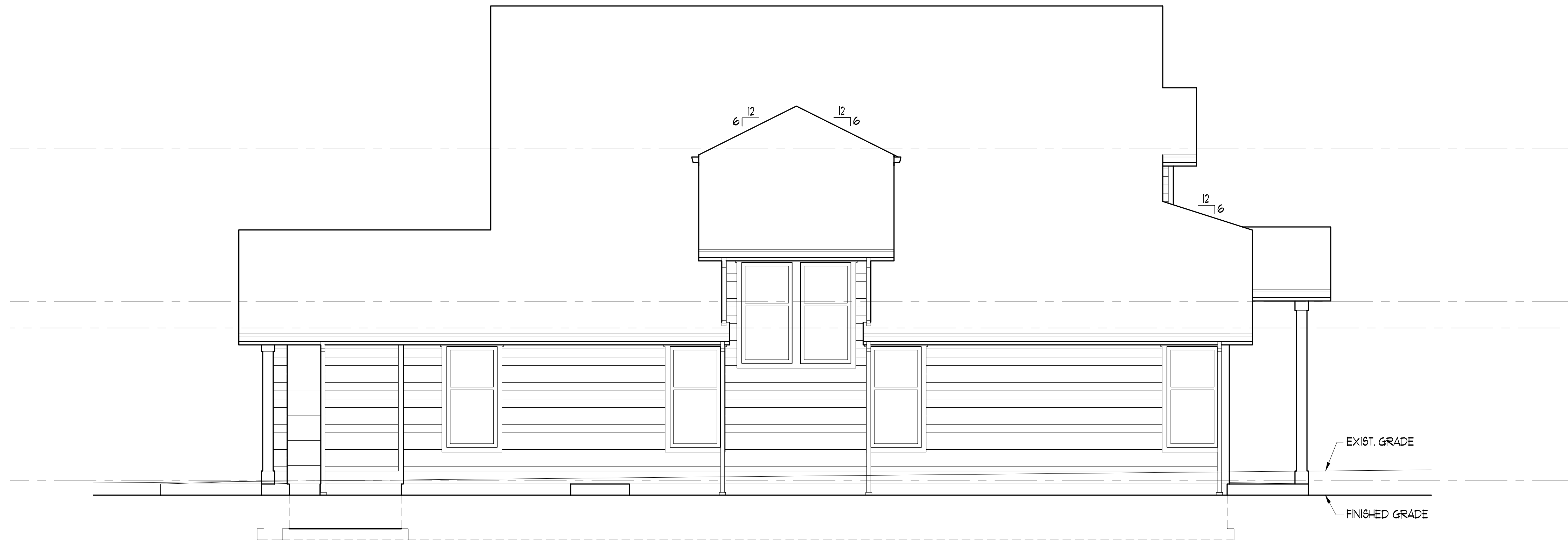
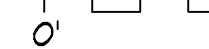


**NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"  
 0' 4'



EAST ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

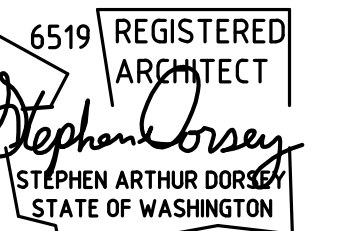
SCALE: 1/4"=1'-0"



Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058



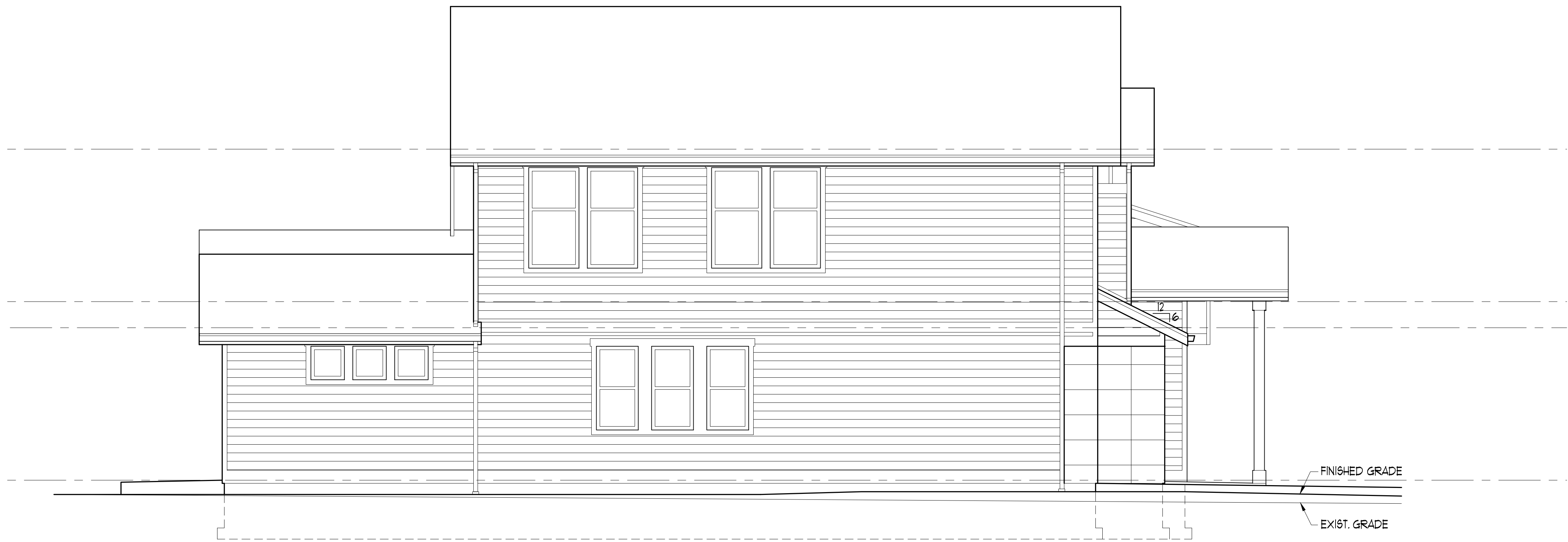
EXTERIOR ELEVATIONS  
& BUILDING SECTIONS

REVISION

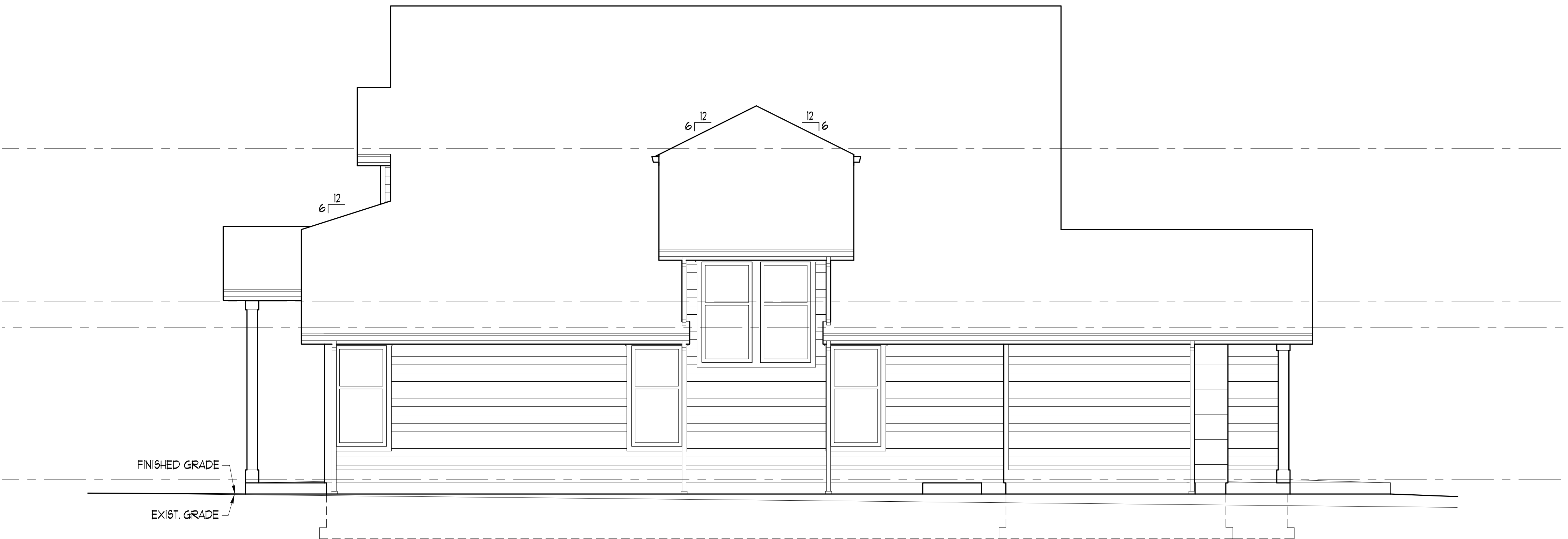
DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

A3.2  
GARAGE RIGHT





WEST ELEVATION  
SCALE: 1/4"=1'-0"

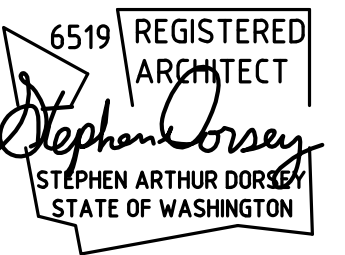


EAST ELEVATION  
SCALE: 1/4"=1'-0"

Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058



EXTERIOR ELEVATIONS  
& BUILDING SECTIONS

REVISION

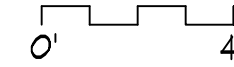
DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A3.2**  
GARAGE LEFT



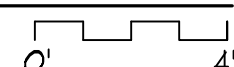
WEST ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

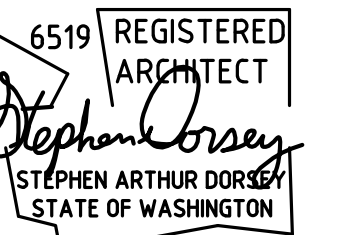
SCALE: 1/4"=1'-0"



Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Puyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 24, 46 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058



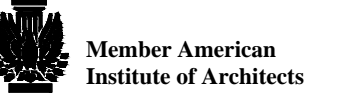
EXTERIOR ELEVATIONS  
& BUILDING SECTIONS

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

**A3.2**  
HIP ROOF

Stephen Dorsey, AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 24, 26 OF WANG SHORT FLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

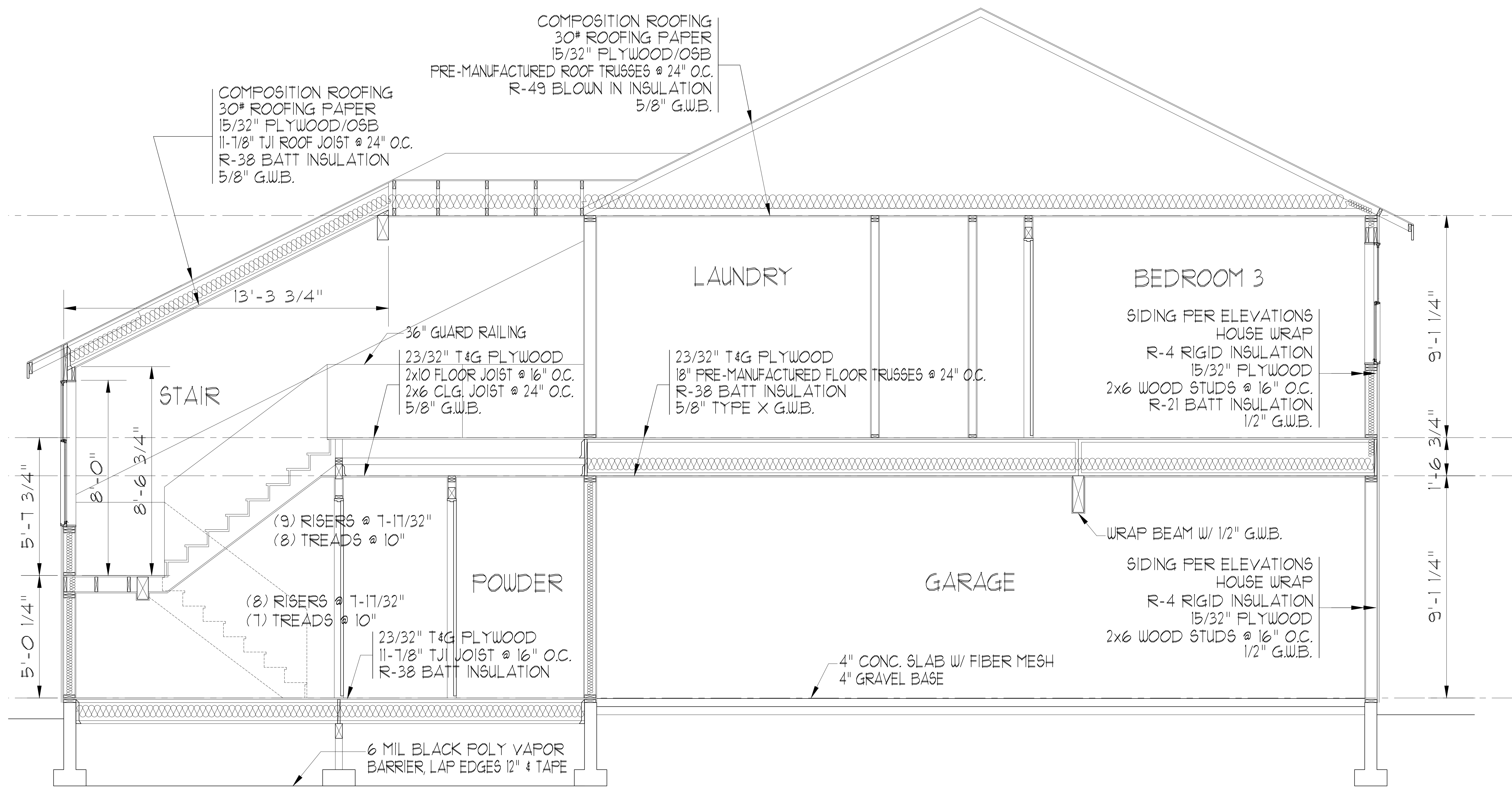


1/2" = 1'-0"  
 BUILDING SECTION

REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

**A3.3**  
 GARAGE RIGHT

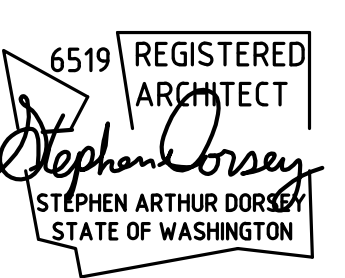


**A BUILDING SECTION**  
 SCALE: 1/2" = 1'-0"

Stephen Dorsey, AIA  
 Architect  
 134 - 23rd St. SW  
 Puyallup, WA 98371  
 Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
 LOTS 24, 46 OF WANG SHORT FLAT  
 19016 116TH AVE SE  
 RENTON, WASHINGTON 98058

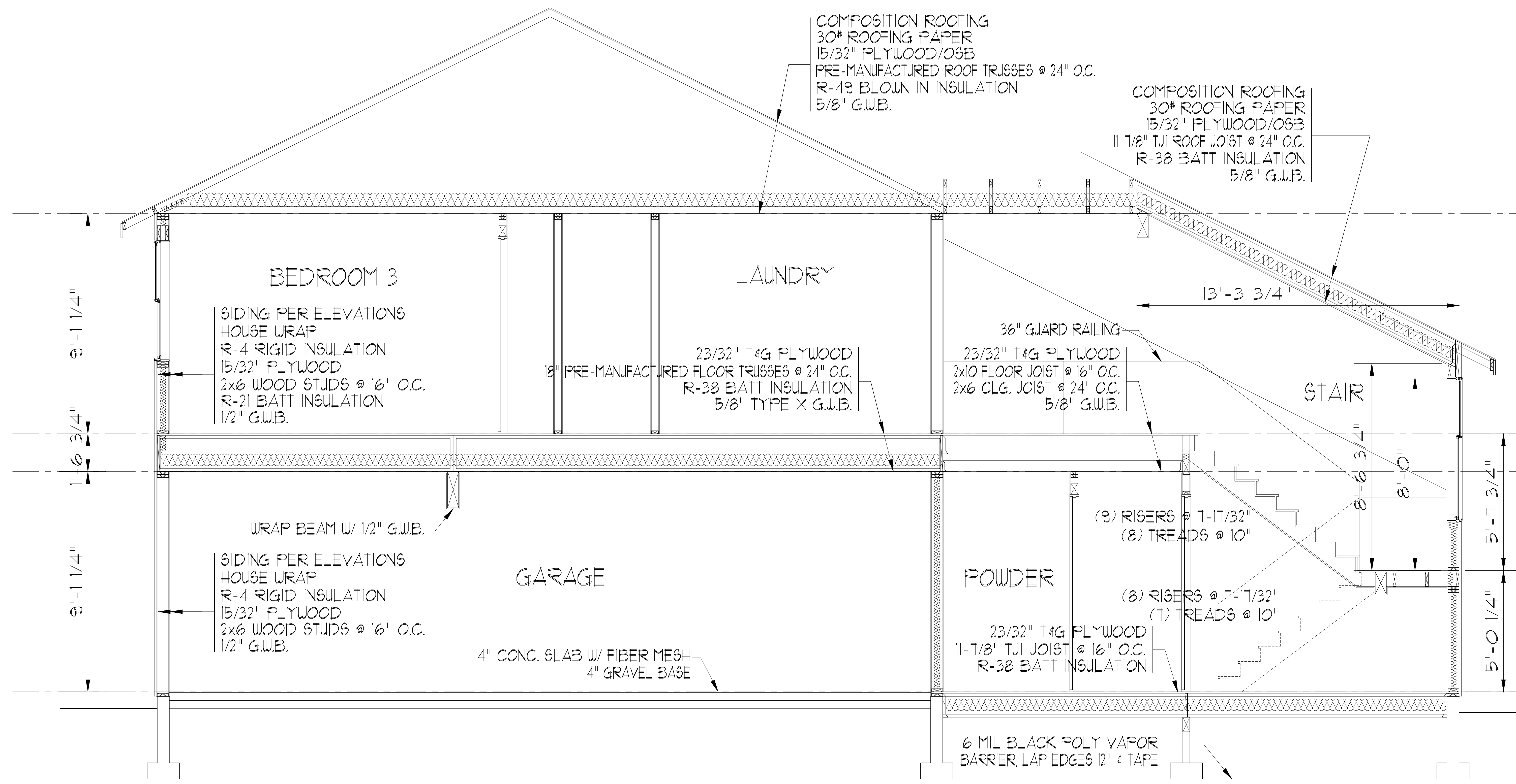


1/2" = 1'-0"  
 BUILDING SECTION

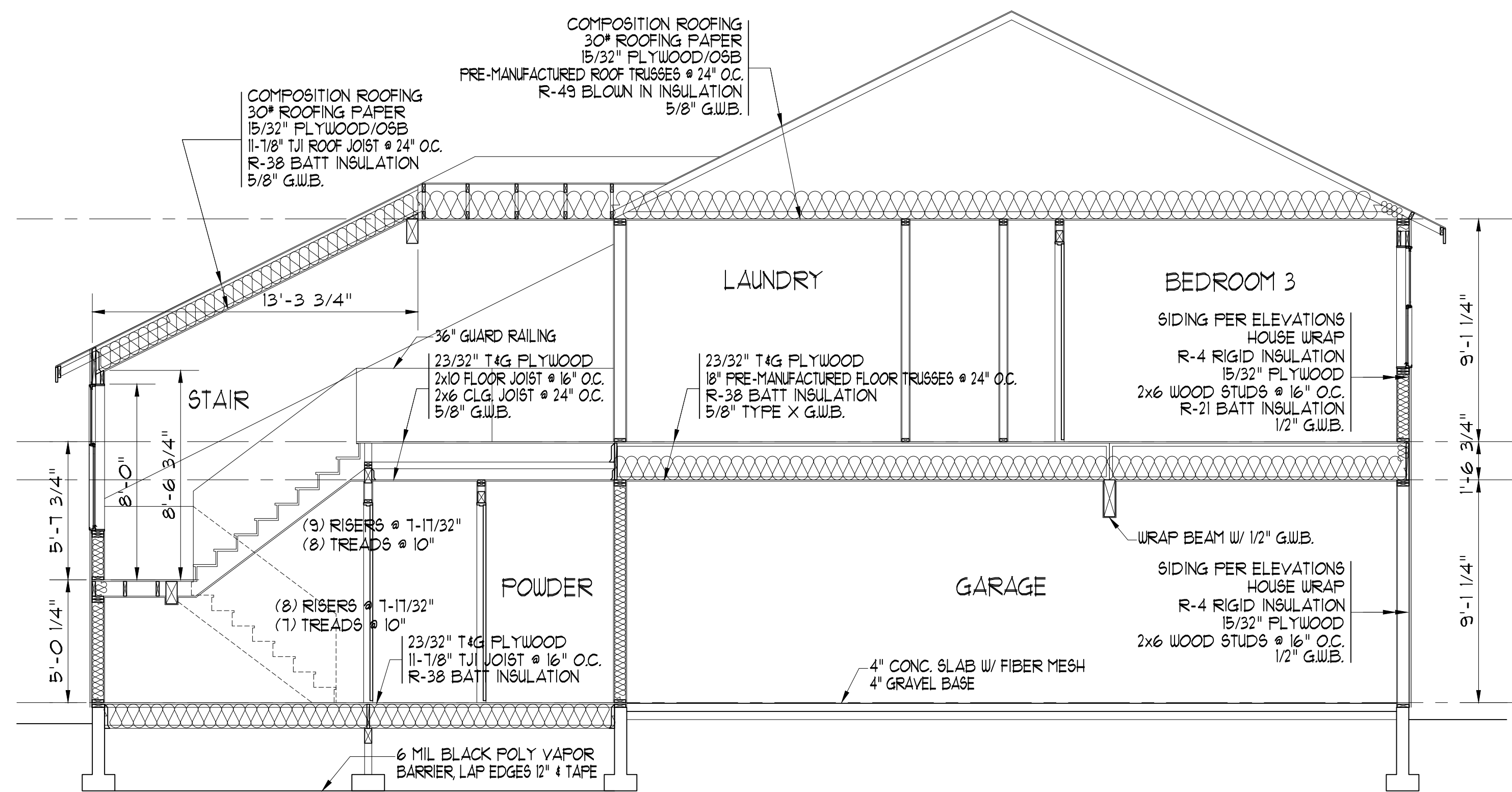
REVISION

DATE: 15 DEC. 2021  
 PROJECT NO: 18-608  
 SHEET:

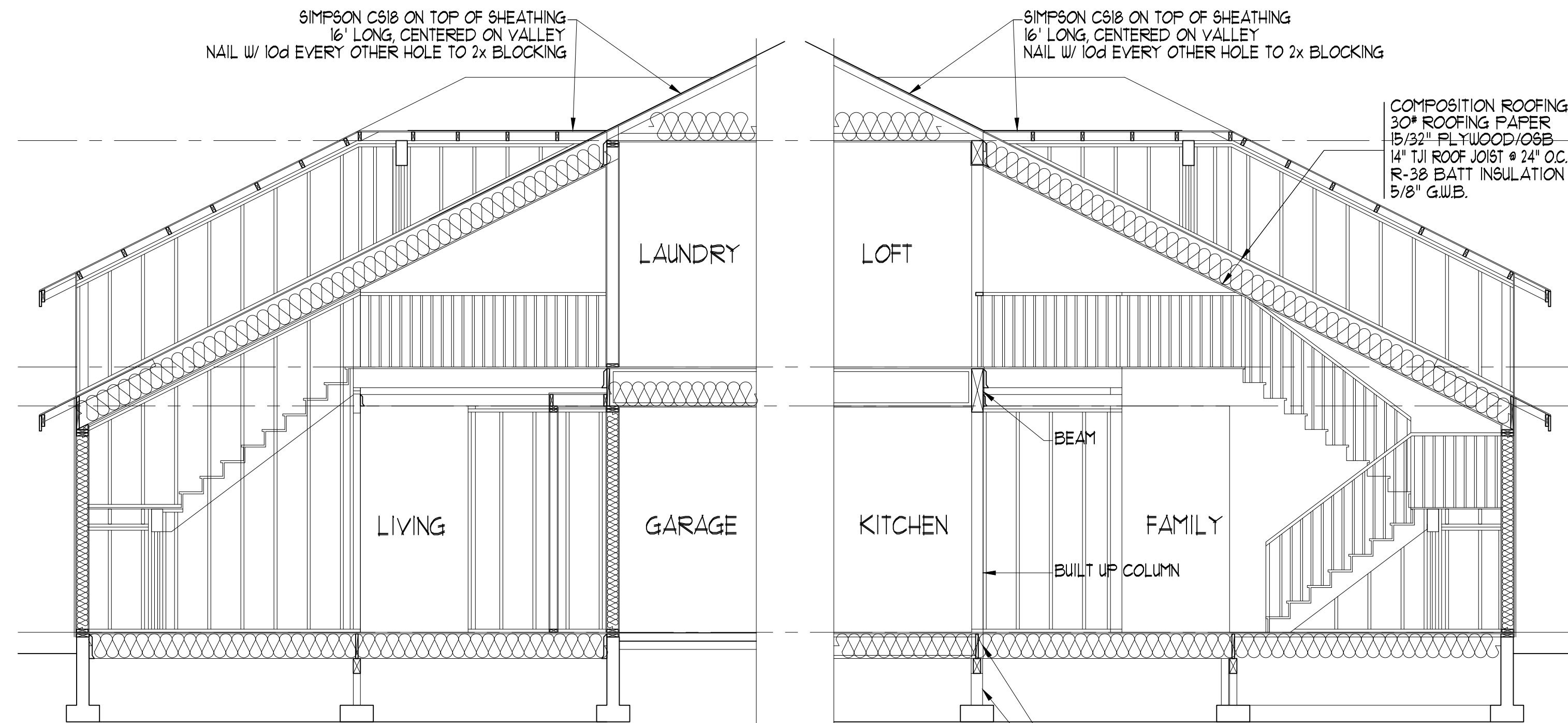
**A3.3**  
 GARAGE LEFT



**A BUILDING SECTION**  
 SCALE: 1/2" = 1'-0"



**A BUILDING SECTION**  
SCALE: 1/4"=1'-0"  
SEE SHEET A3.3 FOR 1/2"=1'-0" SCALE BUILDING SECTION



**B BUILDING SECTION**  
SCALE: 1/4"=1'-0"

**C BUILDING SECTION**  
SCALE: 1/4"=1'-0"

**STAIR NOTES:**

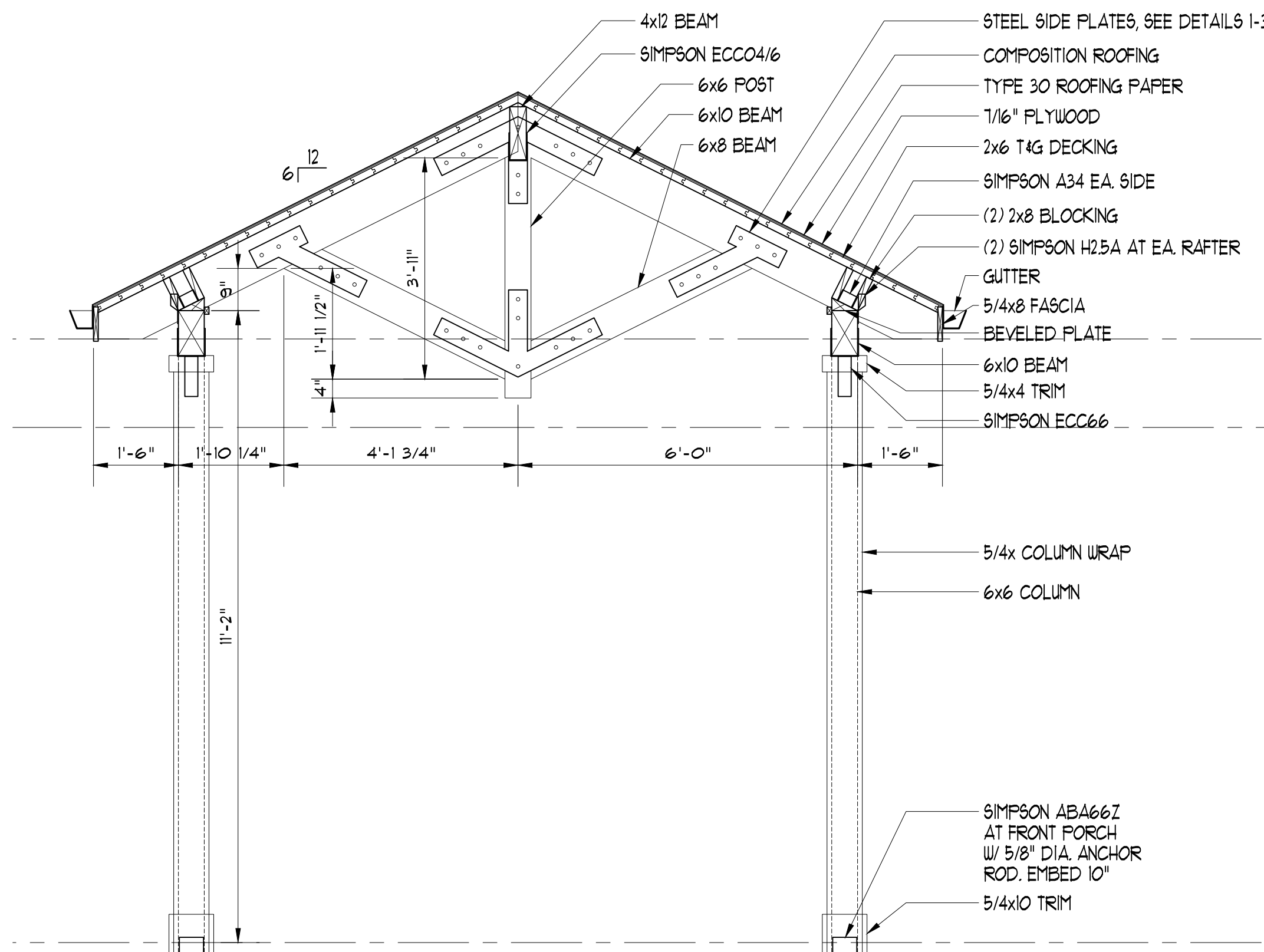
STAIR RISER HEIGHT TO BE 4" MINIMUM AND 7-3/4" MAXIMUM WITH 3/8" MAXIMUM VARIATION IN RISER HEIGHT IN A RUN OF STAIRS. MINIMUM TREAD WIDTH TO BE 10". MINIMUM HEAD ROOM 6'-8". MINIMUM STAIR AND LANDING WIDTH 36", 31-1/2" CLEAR IF 1 HANDRAIL, 27" CLEAR IF 2 HANDRAILS. NOSING MIN. 3/4" MAX. 1-1/4". INTERIOR STAIRS TO HAVE SOLID RISERS. PROVIDE GRIPPABLE RAIL IF 4 OR MORE RISERS. HAND RAIL HEIGHT 34"-38" ABOVE TREAD NOSE. GRIPS MUST BE 1-1/4" CIRCULAR CROSS SECTION, MAX. PROJECTION 4-1/2" INTO STAIRWAY, ENDS SHALL RETURN IN NEWEL POST OR VOLUTE. HAND RAILS MUST BE STRONG ENOUGH TO RESIST 200 LBS. POINT LOAD IN ANY DIRECTION. HAND RAILS ON OPEN SIDE OF STAIR MUST NOT ALLOW A 4" SPHERE TO PASS THROUGH OPENINGS. PROVIDE STAIR ILLUMINATION WITH 3 WAY SWITCHES AT TOP AND BOTTOM OF STAIR.

**GUARD RAILING NOTES:**

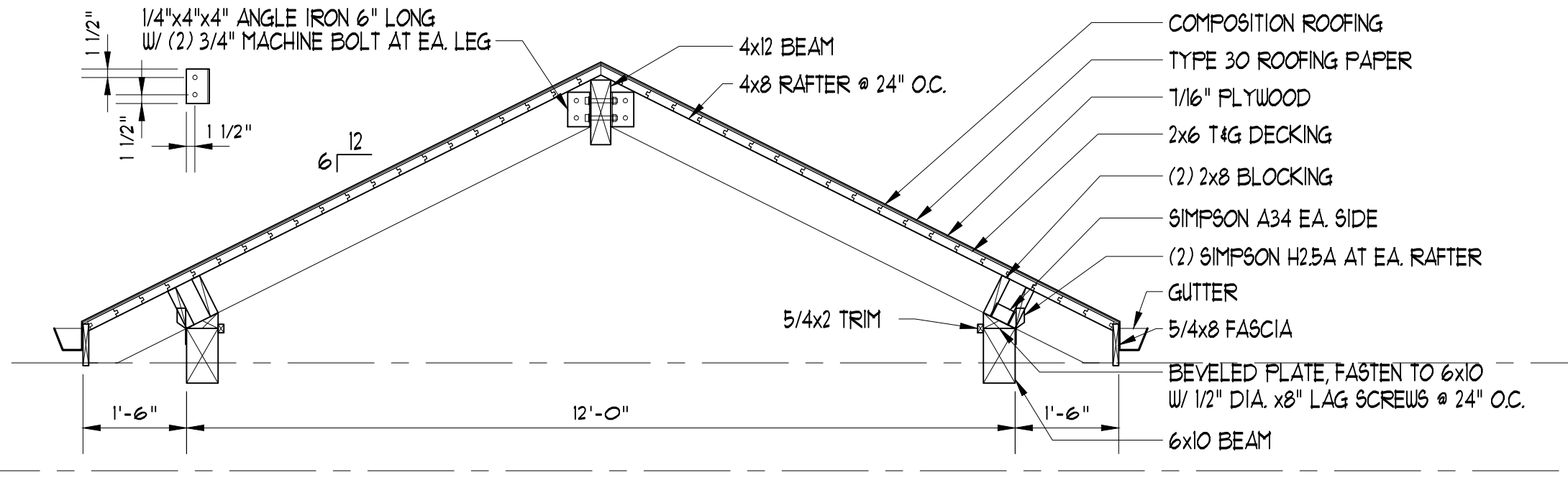
AT PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD RAILING NOT LESS THAN 36" HIGH. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD RAILING NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE NOSE OF THE STAIR TREADS. OPENINGS IN REQUIRED GUARD RAILINGS SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH THE OPENINGS, EXCEPT OPENING IN SIDES OF STAIRS SHALL NOT ALLOW A 4-3/8" SPHERE TO PASS THROUGH OPENINGS. AND AT THE TRIANGLE OPENING FORMED AT THE TREAD AND BOTTOM RAIL OF GUARD RAILING SHALL NOT ALLOW A 6" SPHERE TO PASS THROUGH THE OPENING.

**WEATHER STRIP & INSULATE ATTIC ACCESS PANELS W/ R-49 BATT.**

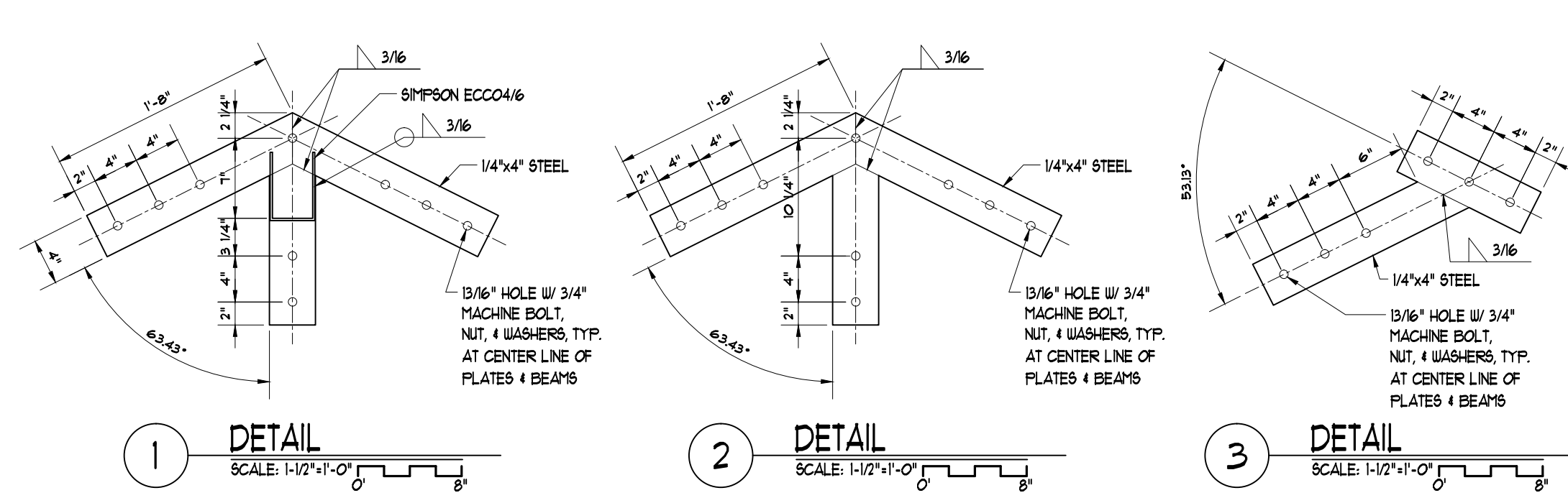
BUILDING TO BE CONSTRUCTED TO MEET AIR INFILTRATION LEAKAGE TEST TO NOT EXCEED 5 AIR CHANGES PER HOUR PER 2015 WSEC. RECESSED LUMINAIRE'S INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE TYPE IC-RATED AND CERTIFIED UNDER ASTM E283 AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM (0.344 L/S) WHEN TESTED AT A 157 PSF (75 PA) PRESSURE DIFFERENTIAL AND SHALL HAVE A LABEL ATTACHED SHOWING COMPLIANCE WITH THIS TEST METHOD. ALL RECESSED LUMINAIRE'S SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.



**D BUILDING SECTION**  
SCALE: 1/2"=1'-0"



**E BUILDING SECTION**  
SCALE: 1/2"=1'-0"



**1 DETAIL**  
SCALE: 1-1/2"=1'-0"

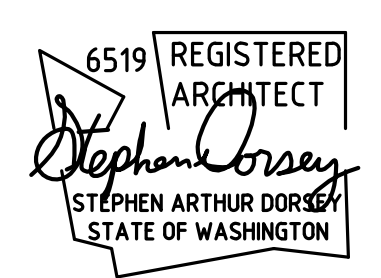
**2 DETAIL**  
SCALE: 1-1/2"=1'-0"

**3 DETAIL**  
SCALE: 1-1/2"=1'-0"

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Fuyállup, WA 98371  
Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

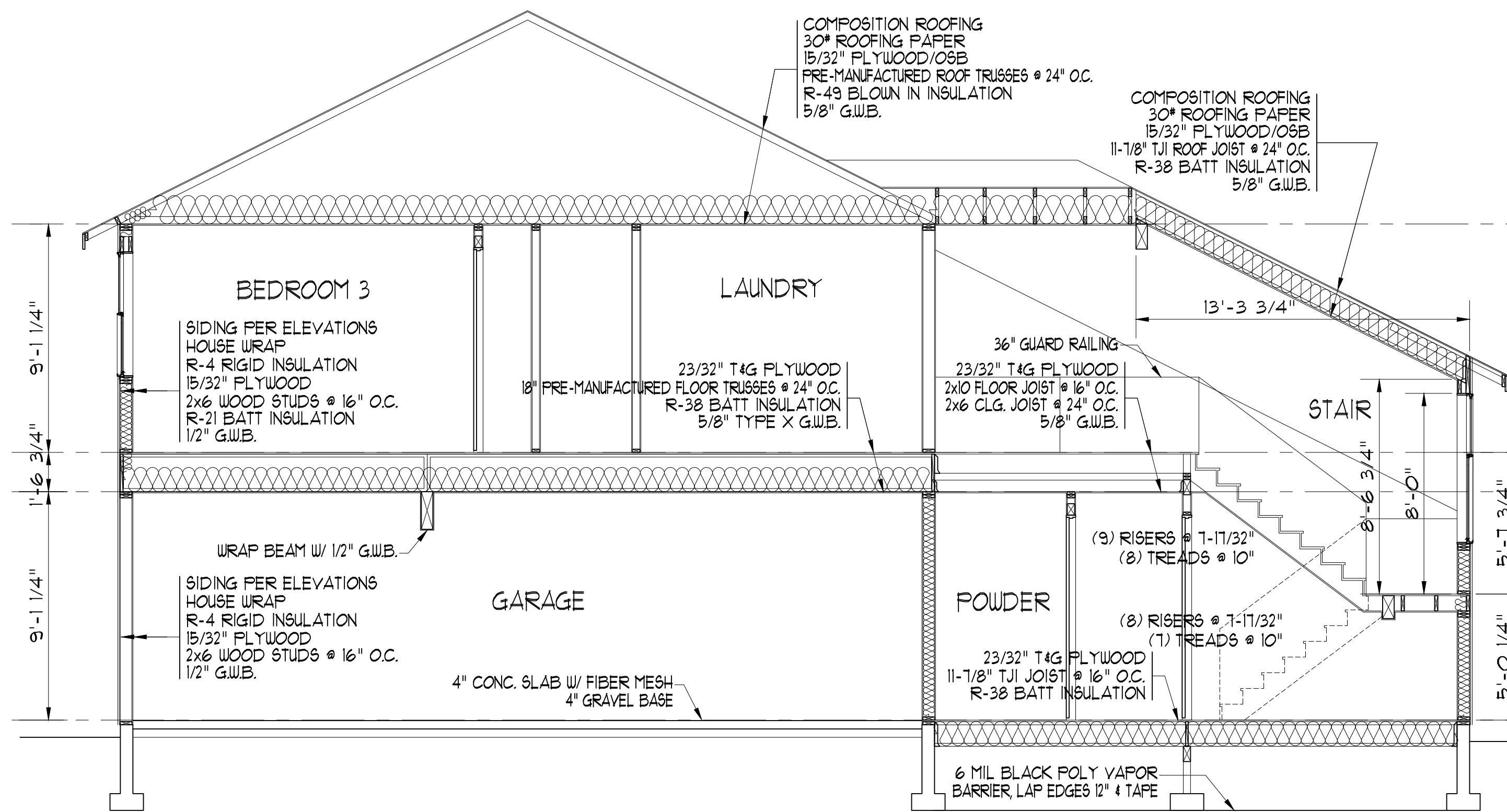


BUILDING SECTIONS  
& GENERAL NOTES

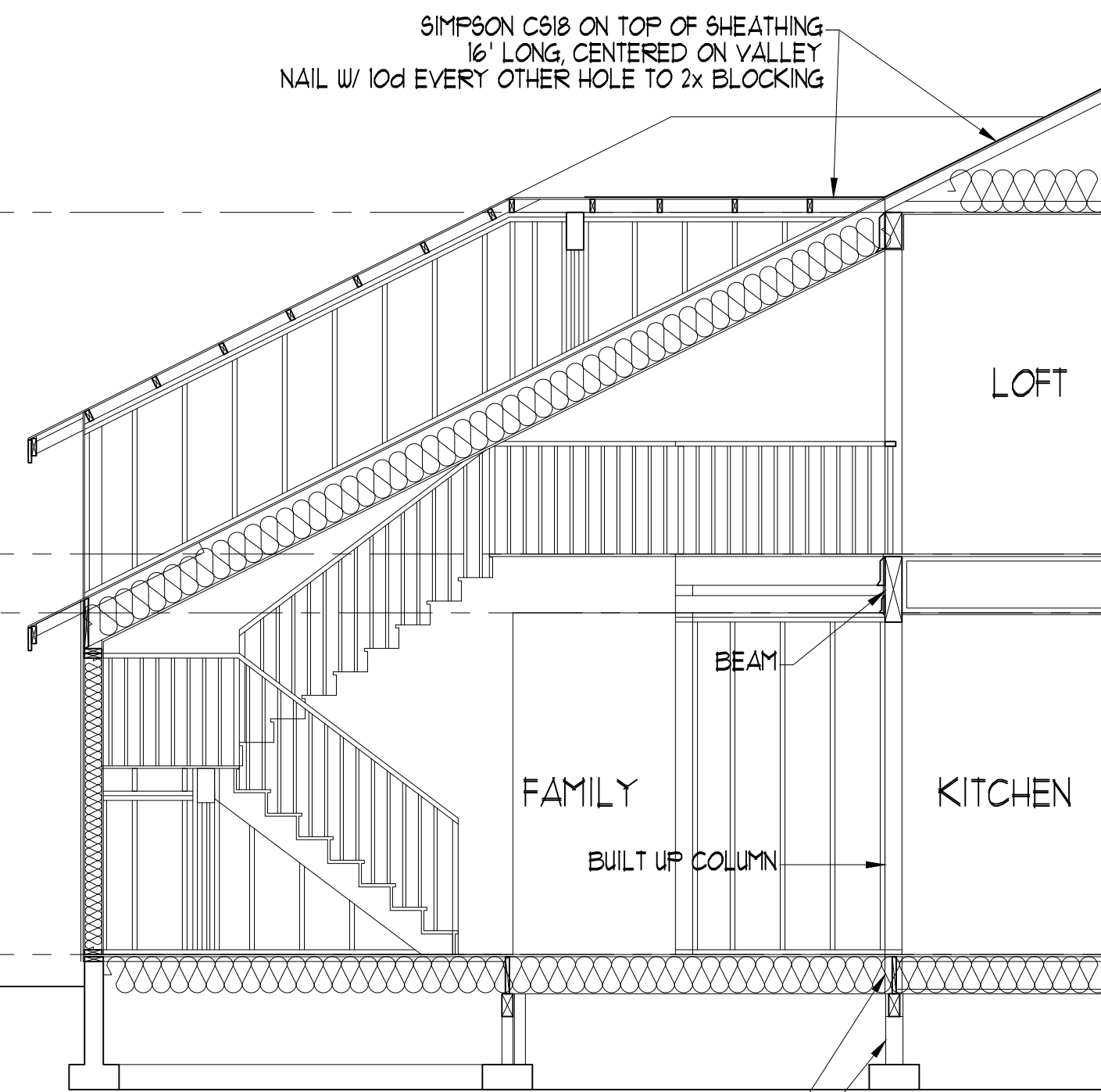
REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

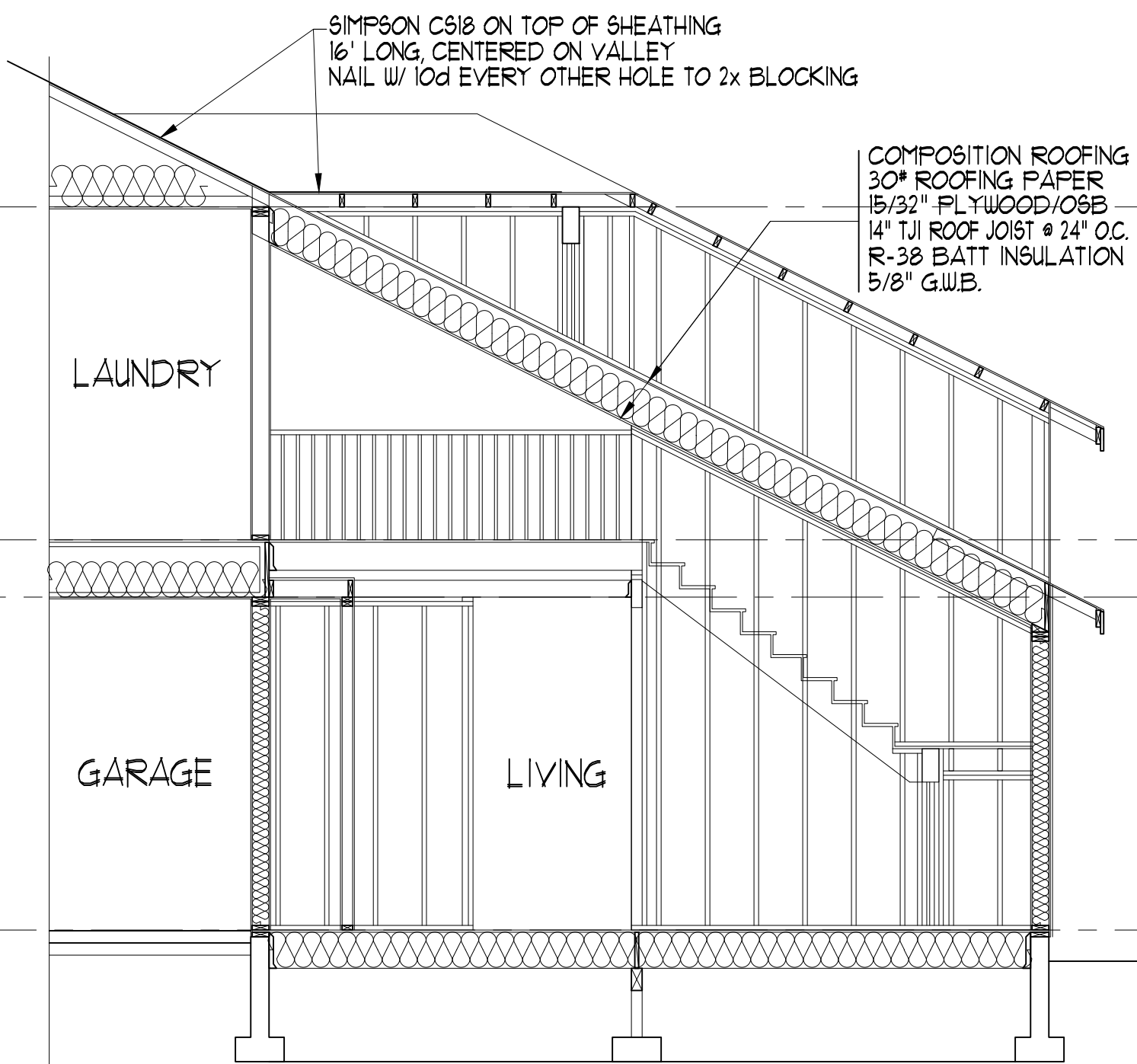
**A4.1**  
GARAGE RIGHT



**A BUILDING SECTION**  
SCALE: 1/4"=1'-0"  
SEE SHEET A33 FOR 1/2"=1'-0" SCALE BUILDING SECTION



**C BUILDING SECTION**  
SCALE: 1/4"=1'-0"



**B BUILDING SECTION**  
SCALE: 1/4"=1'-0"

**STAIR NOTES:**

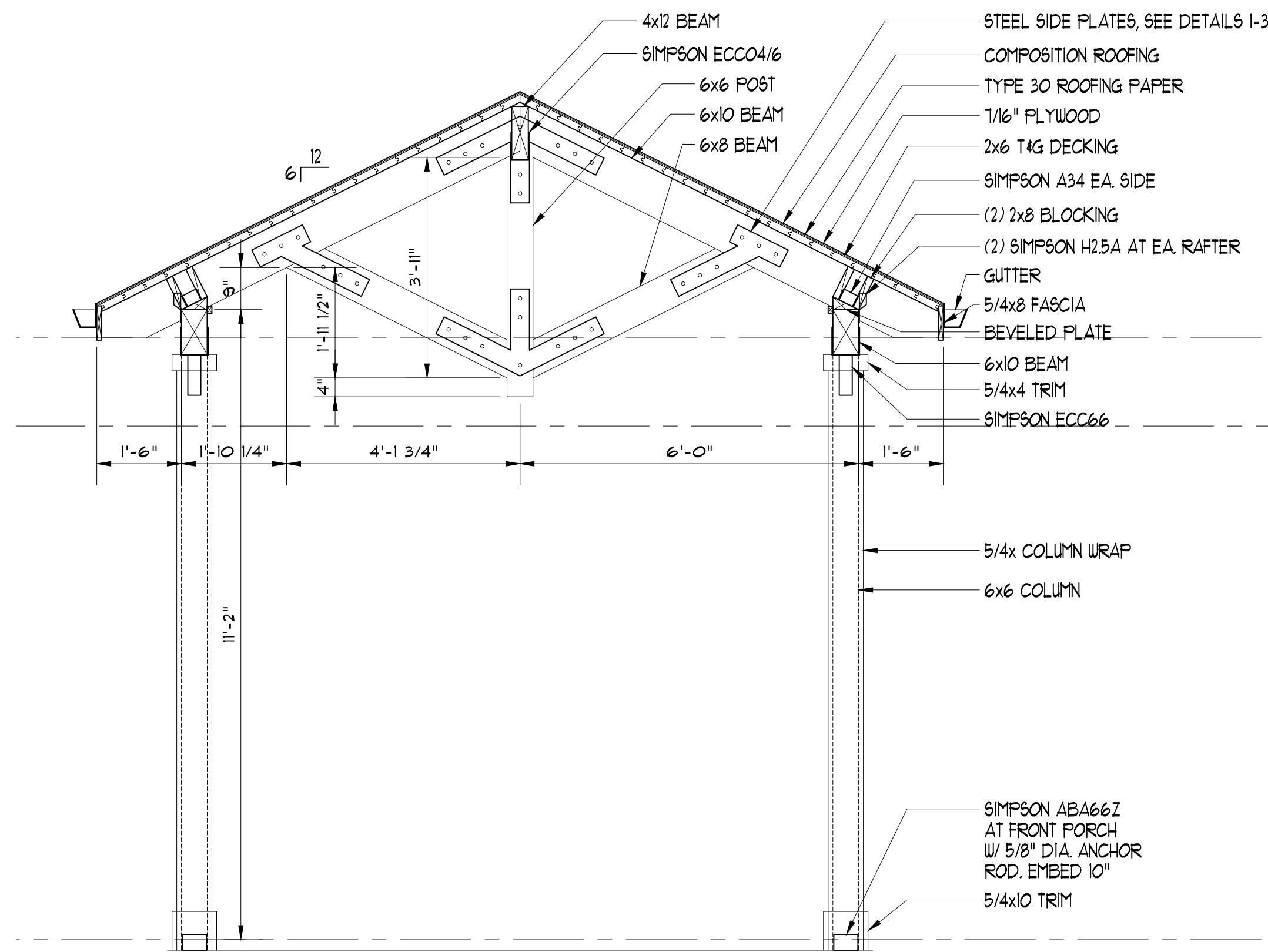
STAIR RISER HEIGHT TO BE 4" MINIMUM AND 7-3/4" MAXIMUM WITH 3/8" MAXIMUM VARIATION IN RISER HEIGHT IN A RUN OF STAIRS. MINIMUM TREAD WIDTH TO BE 10". MINIMUM HEAD ROOM 6'-8". MINIMUM STAIR AND LANDING WIDTH 36", 31-1/2" CLEAR IF 1 HANDRAIL, 27" CLEAR IF 2 HANDRAILS. NOSING MIN. 3/4" MAX. 1-1/4". INTERIOR STAIRS TO HAVE SOLID RISERS. PROVIDE GRIPFABLE RAIL IF 4 OR MORE RISERS. HAND RAIL HEIGHT 34"-38" ABOVE TREAD NOSE. GRIPS MUST BE 1-1/4" CIRCULAR CROSS SECTION, MAX. PROJECTION 4-1/2" INTO STAIRWAY, ENDS SHALL RETURN IN NEWEL POST OR VOLUTE. HAND RAILS MUST BE STRONG ENOUGH TO RESIST 200 LBS. POINT LOAD IN ANY DIRECTION. HAND RAILS ON OPEN SIDE OF STAIR MUST NOT ALLOW A 4" SPHERE TO PASS THROUGH OPENINGS. PROVIDE STAIR ILLUMINATION WITH 3 WAY SWITCHES AT TOP AND BOTTOM OF STAIR.

**GUARD RAILING NOTES:**

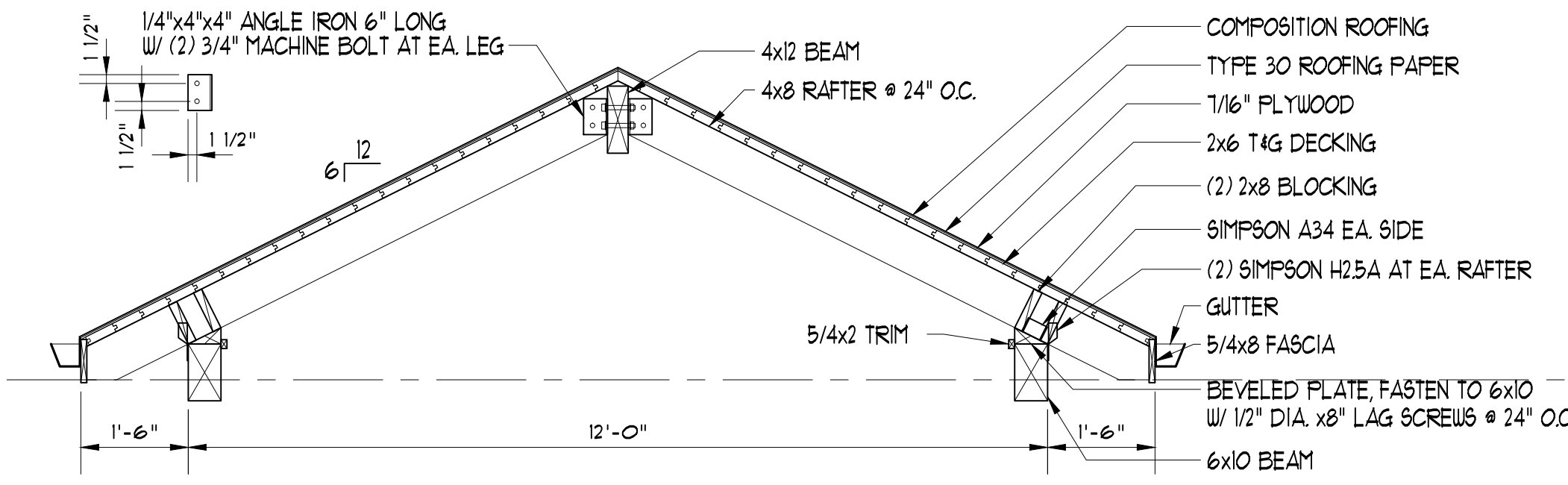
AT PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD RAILING NOT LESS THAN 36" HIGH. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD RAILING NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE NOSE OF THE STAIR TREADS. OPENINGS IN REQUIRED GUARD RAILINGS SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH THE OPENINGS, EXCEPT OPENING IN SIDES OF STAIRS SHALL NOT ALLOW A 4-3/8" SPHERE TO PASS THROUGH OPENINGS. AND AT THE TRIANGLE OPENING FORMED AT THE TREAD AND BOTTOM RAIL OF GUARD RAILING SHALL NOT ALLOW A 6" SPHERE TO PASS THROUGH THE OPENING.

**WEATHER STRIP & INSULATE ATTIC ACCESS PANELS W/ R-49 BATT.**

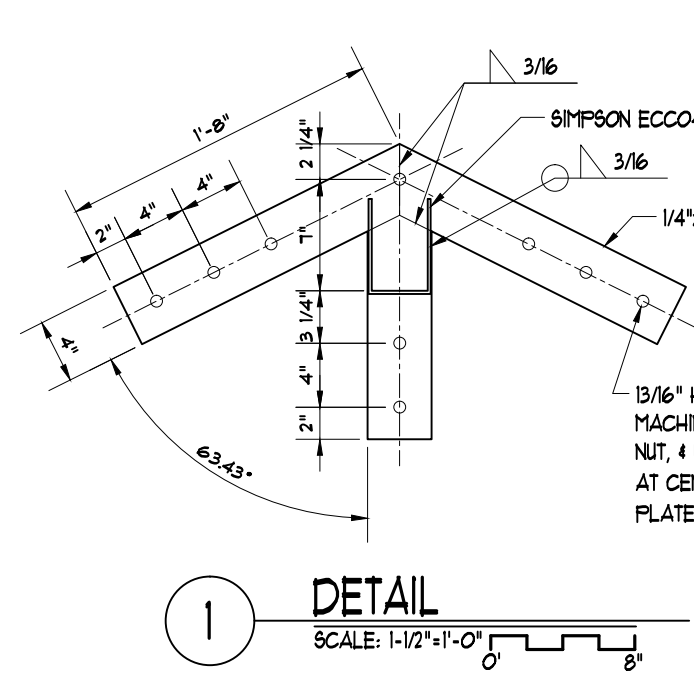
BUILDING TO BE CONSTRUCTED TO MEET AIR INFILTRATION LEAKAGE TEST TO NOT EXCEED 5 AIR CHANGES PER HOUR PER 2015 WSEC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE TYPE IC-RATED AND CERTIFIED UNDER ASTM E283 AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM (0.344 L/S) WHEN TESTED AT A 157 PSF (75 PA) PRESSURE DIFFERENTIAL AND SHALL HAVE A LABEL ATTACHED SHOWING COMPLIANCE WITH THIS TEST METHOD. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.



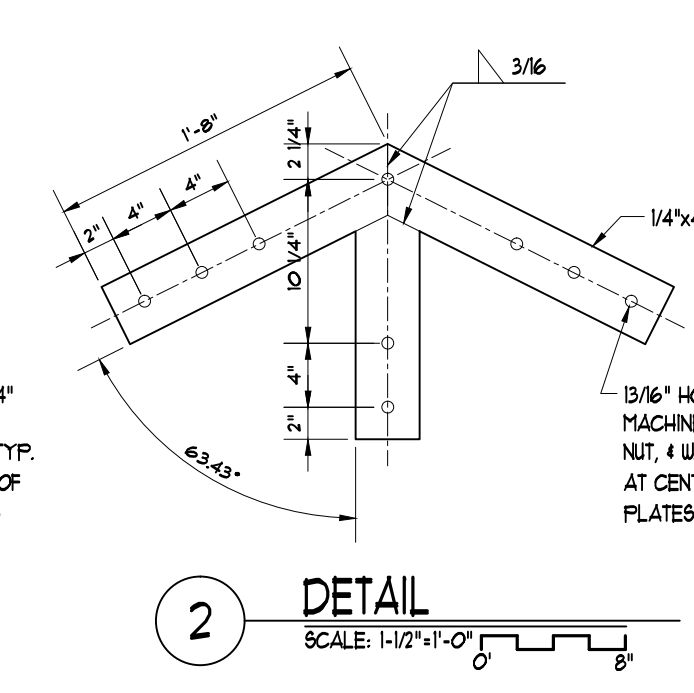
**D BUILDING SECTION**  
SCALE: 1/2"=1'-0"



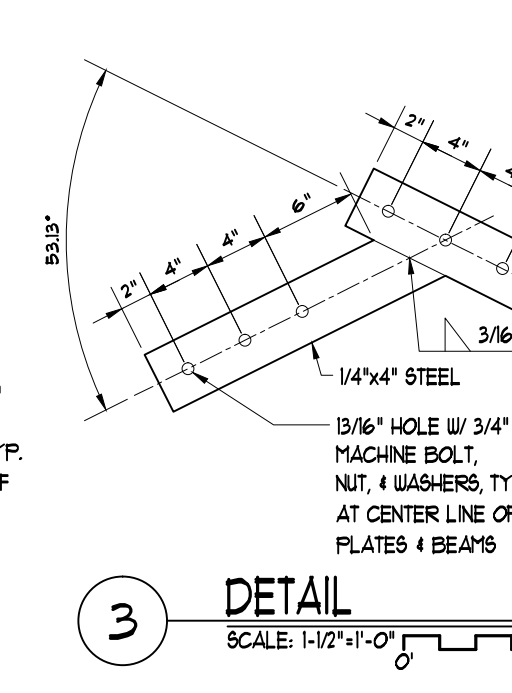
**E BUILDING SECTION**  
SCALE: 1/2"=1'-0"



**1 DETAIL**  
SCALE: 1-1/2"=1'-0"



**2 DETAIL**  
SCALE: 1-1/2"=1'-0"



**3 DETAIL**  
SCALE: 1-1/2"=1'-0"

**BUILDING SECTIONS & GENERAL NOTES**

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

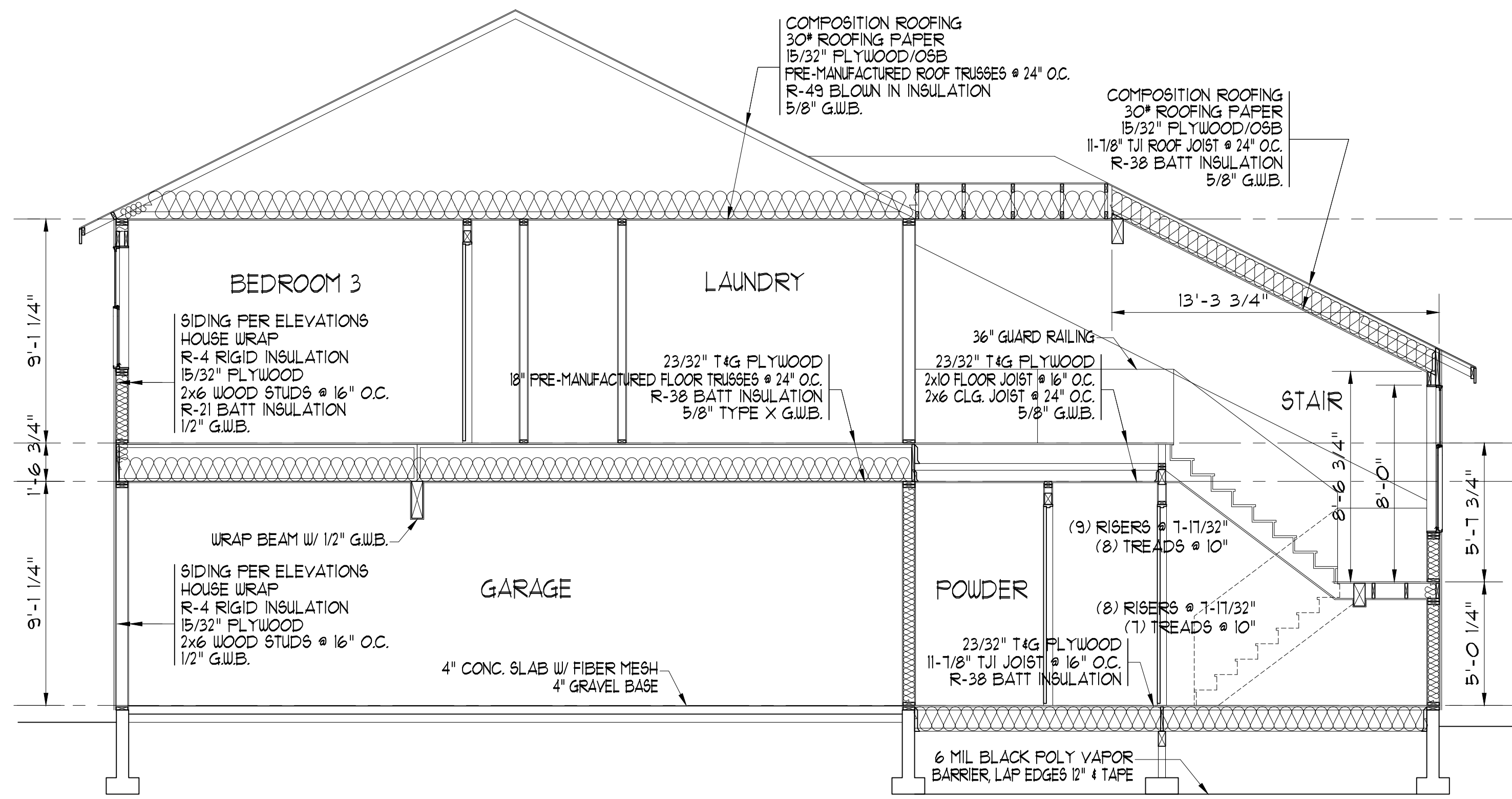
**A4.1**  
GARAGE LEFT

Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Puyallup, WA 98371  
Tel: (253) 845-5106

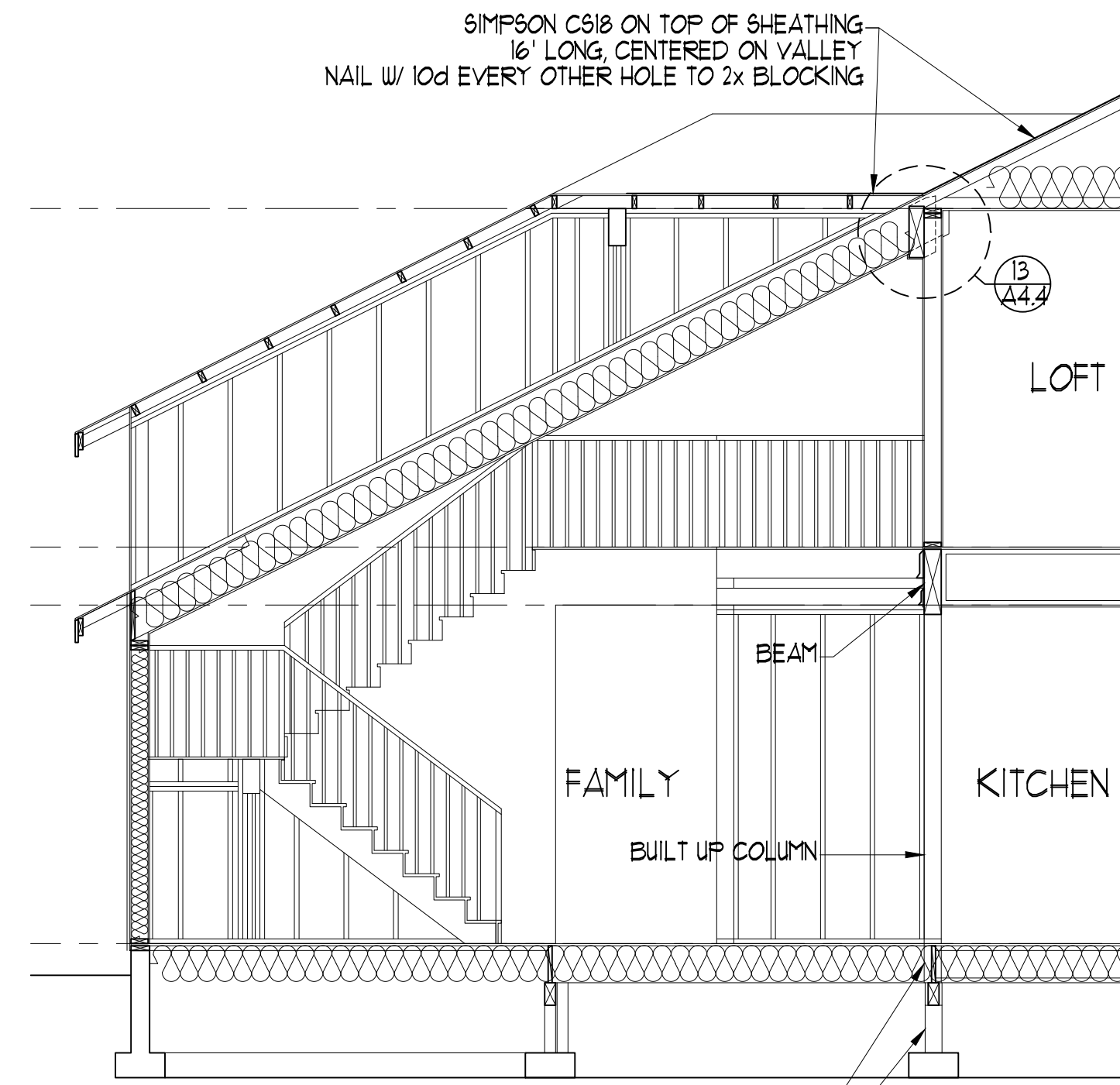
Member American  
Institute of Architects

SINGLE FAMILY RESIDENCE  
LOTS 24, 26 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

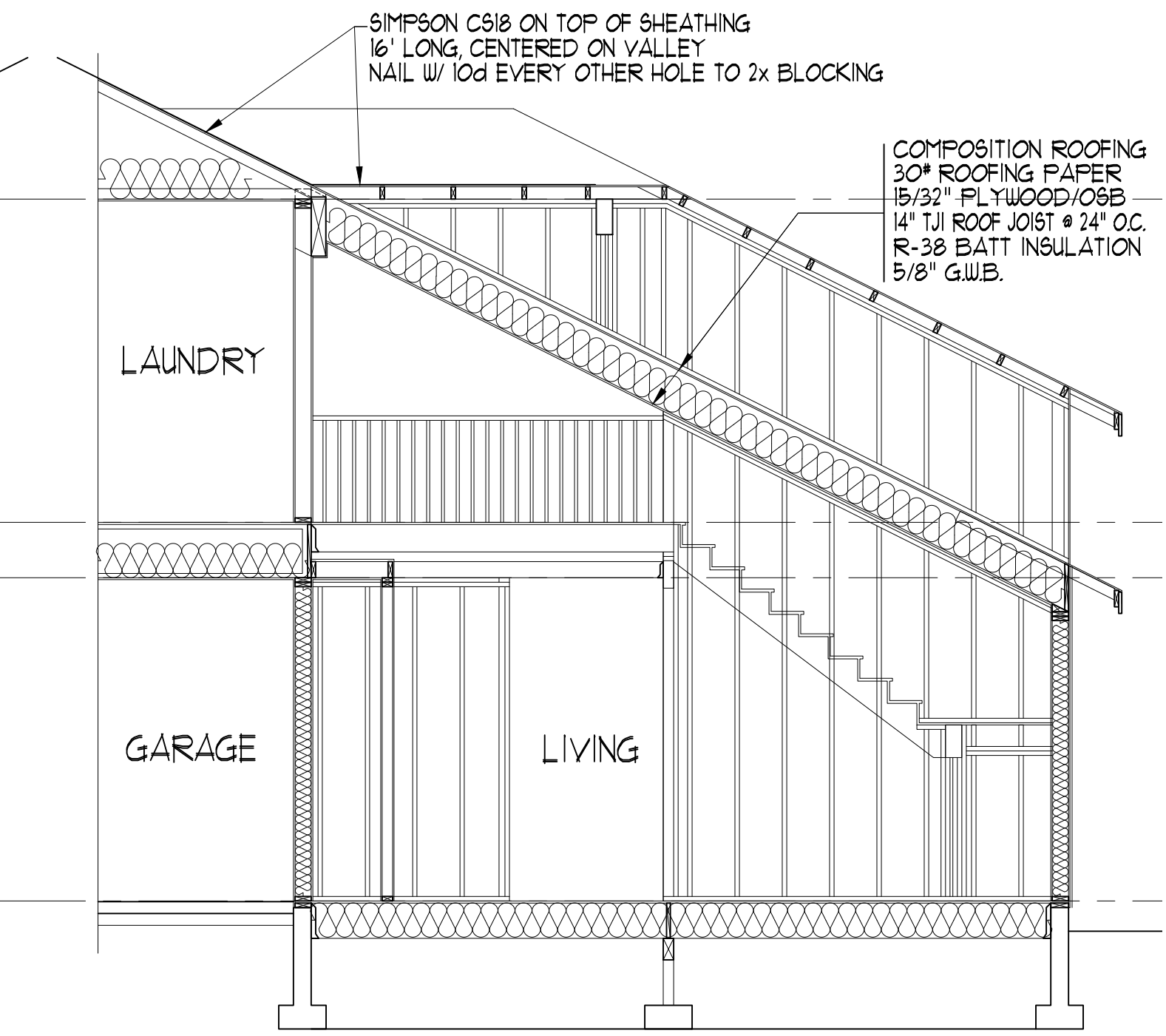
6519 REGISTERED  
ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON



**A BUILDING SECTION**  
SCALE: 1/4"=1'-0"  
SEE SHEET A33 FOR 1/2"=1'-0" SCALE BUILDING SECTION



**C BUILDING SECTION**  
SCALE: 1/4"=1'-0"



**B BUILDING SECTION**  
SCALE: 1/4"=1'-0"

**STAIR NOTES:**

STAIR RISER HEIGHT TO BE 4" MINIMUM AND 1-3/4" MAXIMUM WITH 3/8" MAXIMUM VARIATION IN RISER HEIGHT IN A RUN OF STAIRS. MINIMUM TREAD WIDTH TO BE 10". MINIMUM HEAD ROOM 6'-8". MINIMUM STAIR AND LANDING WIDTH 36", 31-1/2" CLEAR IF 1 HANDRAIL, 27" CLEAR IF 2 HANDRAILS. NOSING MIN. 3/4" MAX. 1-1/4". INTERIOR STAIRS TO HAVE SOLID RISERS. PROVIDE GRIPPABLE RAIL IF 4 OR MORE RISERS. HAND RAIL HEIGHT 34"-38" ABOVE TREAD NOSE. GRIPS MUST BE 1-1/4" CIRCULAR CROSS SECTION, MAX. PROJECTION 4-1/2" INTO STAIRWAY, ENDS SHALL RETURN IN NEWEL POST OR VOLUTE. HAND RAILS MUST BE STRONG ENOUGH TO RESIST 200 LBS. POINT LOAD IN ANY DIRECTION. HAND RAILS ON OPEN SIDE OF STAIR MUST NOT ALLOW 4" SPHERE TO PASS THROUGH OPENINGS. PROVIDE STAIR ILLUMINATION WITH 3 WAY SWITCHES AT TOP AND BOTTOM OF STAIR.

**GUARD RAILING NOTES:**

AT PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD RAILING NOT LESS THAN 36" HIGH. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD RAILING NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE NOSE OF THE STAIR TREADS. OPENINGS IN REQUIRED GUARD RAILINGS SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH THE OPENINGS, EXCEPT OPENING IN SIDES OF STAIRS SHALL NOT ALLOW A 4-3/8" SPHERE TO PASS THROUGH OPENINGS. AND AT THE TRIANGLE OPENING FORMED AT THE TREAD AND BOTTOM RAIL OF GUARD RAILING SHALL NOT ALLOW A 6" SPHERE TO PASS THROUGH THE OPENING.

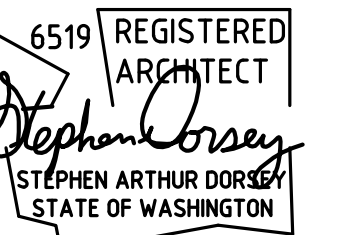
**WEATHER STRIP & INSULATE ATTIC ACCESS PANELS W/ R-49 BATT.**

BUILDING TO BE CONSTRUCTED TO MEET AIR INFILTRATION LEAKAGE TEST TO NOT EXCEED 5 AIR CHANGES PER HOUR PER 2015 USBC. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE TYPE IC-RATED AND CERTIFIED UNDER ASTM E283 AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM (0.944 L/S) WHEN TESTED AT A 157 PSF (75 PA) PRESSURE DIFFERENTIAL AND SHALL HAVE A LABEL ATTACHED SHOWING COMPLIANCE WITH THIS TEST METHOD. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

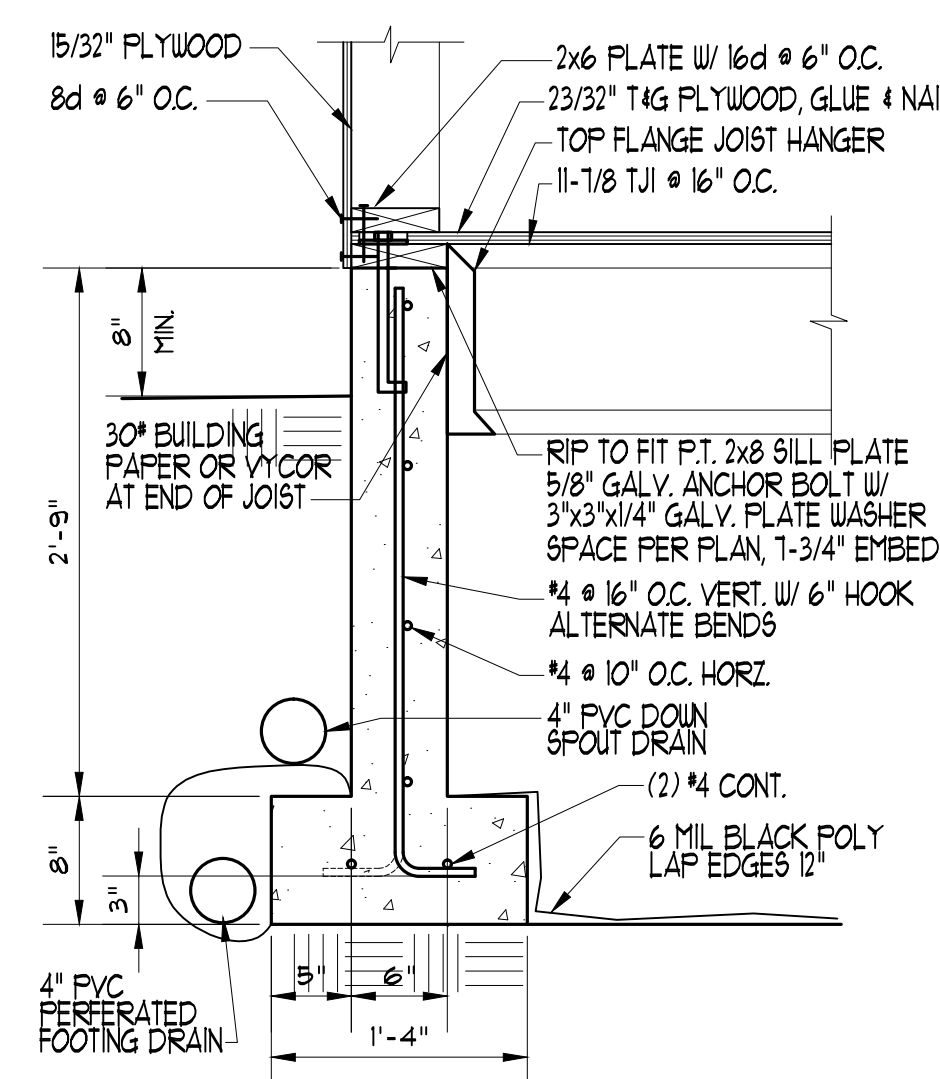


BUILDING SECTIONS  
& GENERAL NOTES

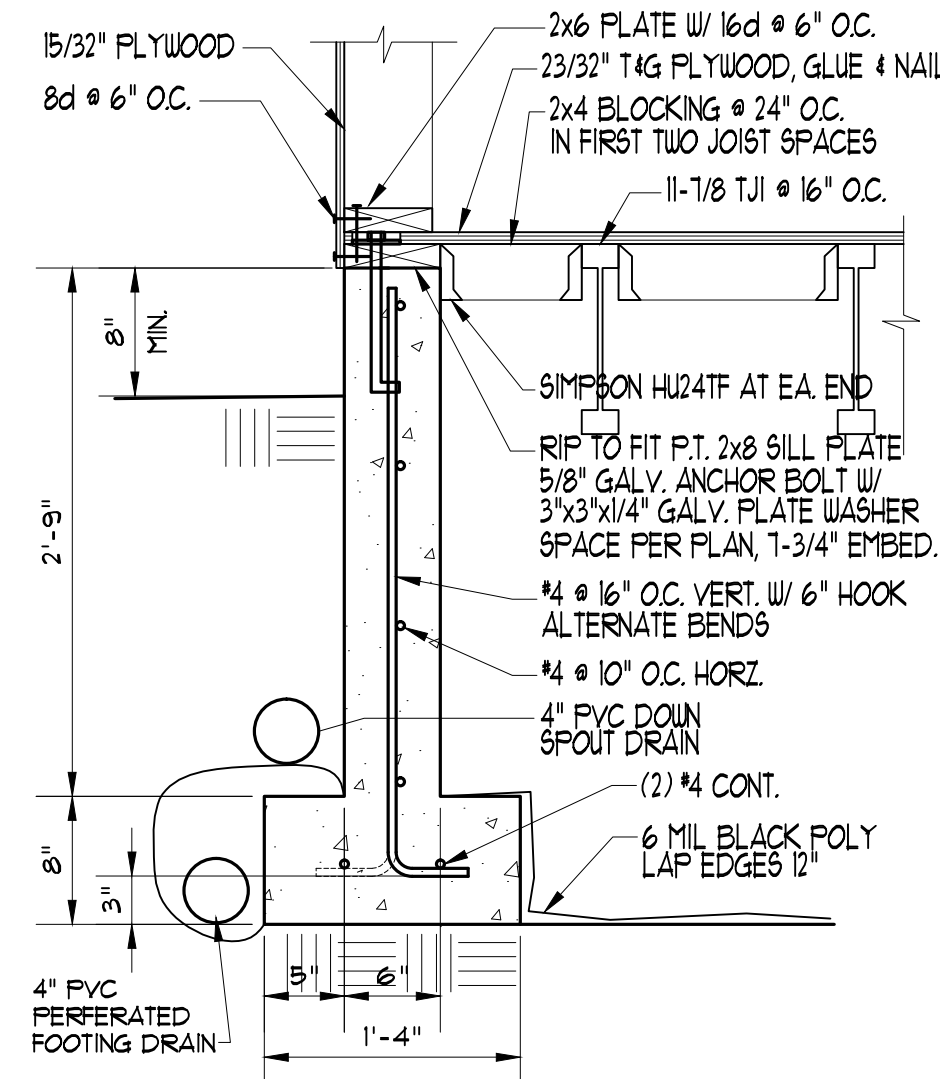
REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

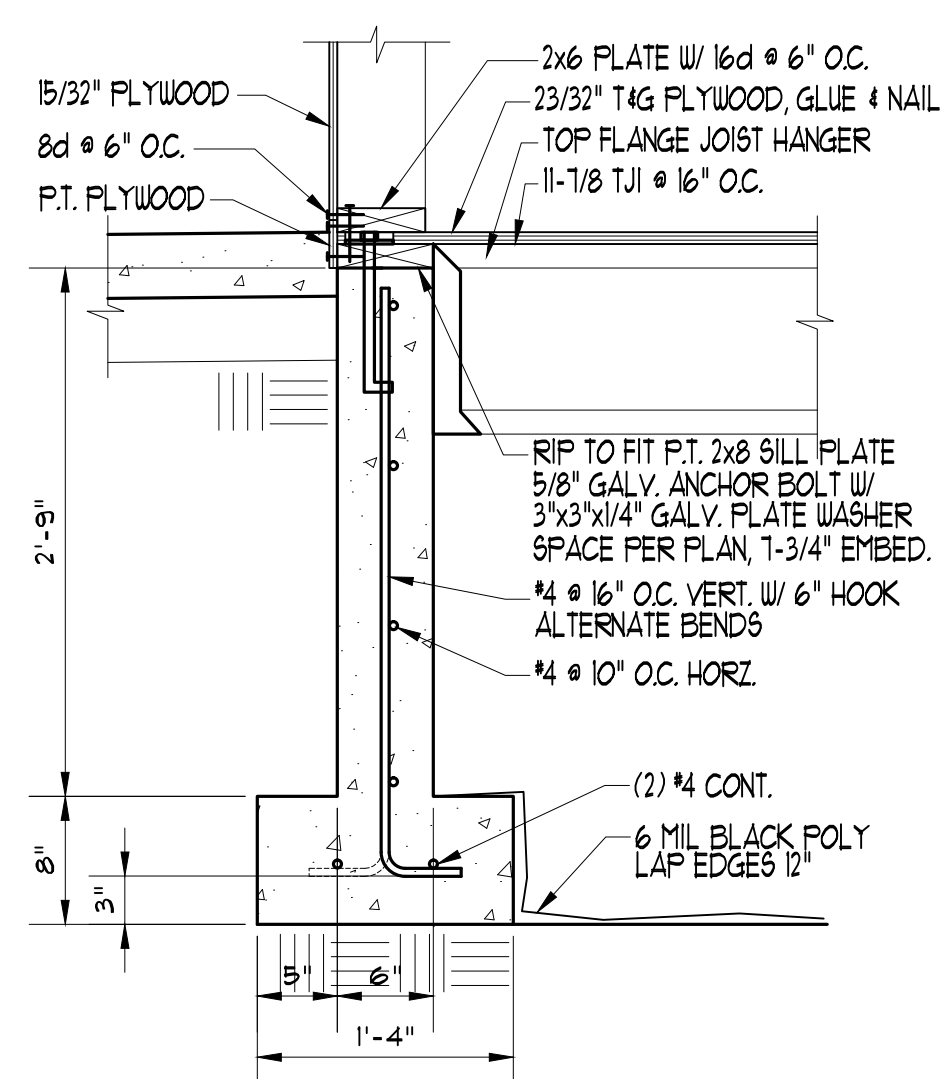
**A4.1**  
HIP ROOF



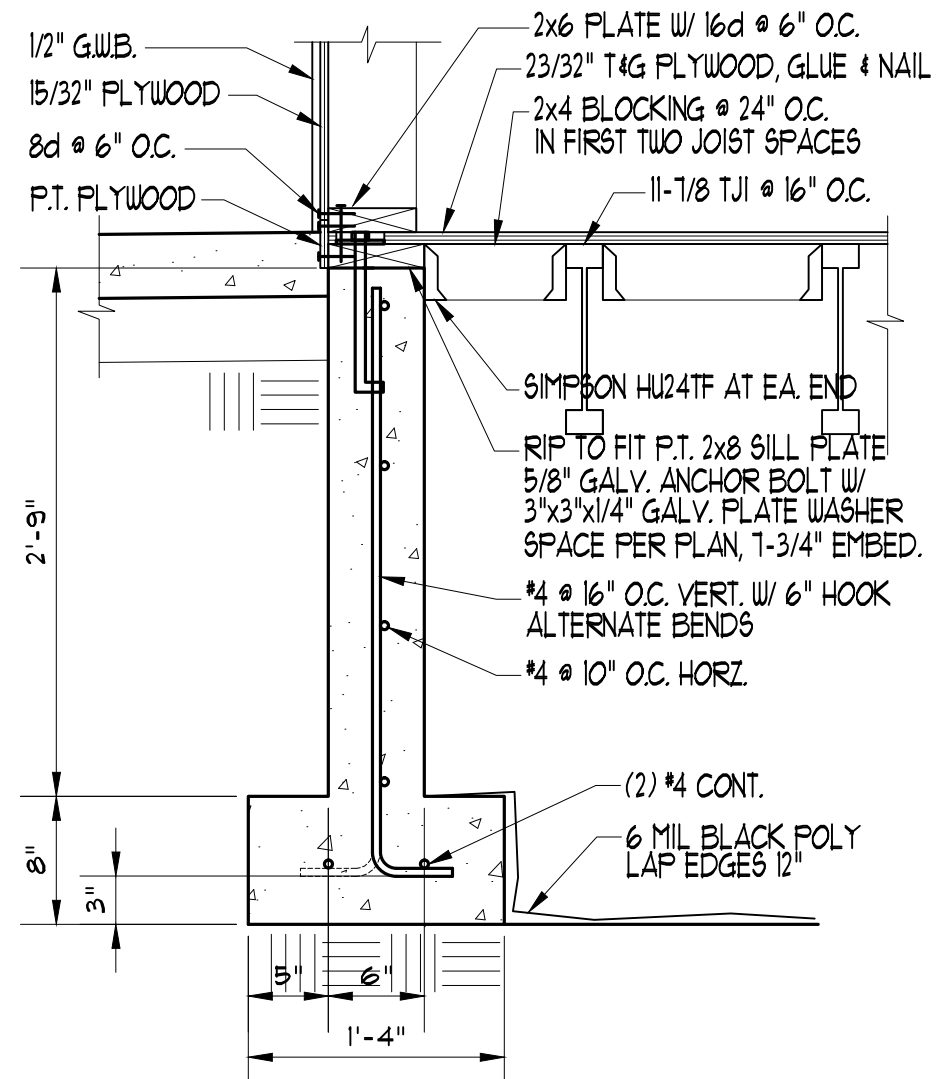
1 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



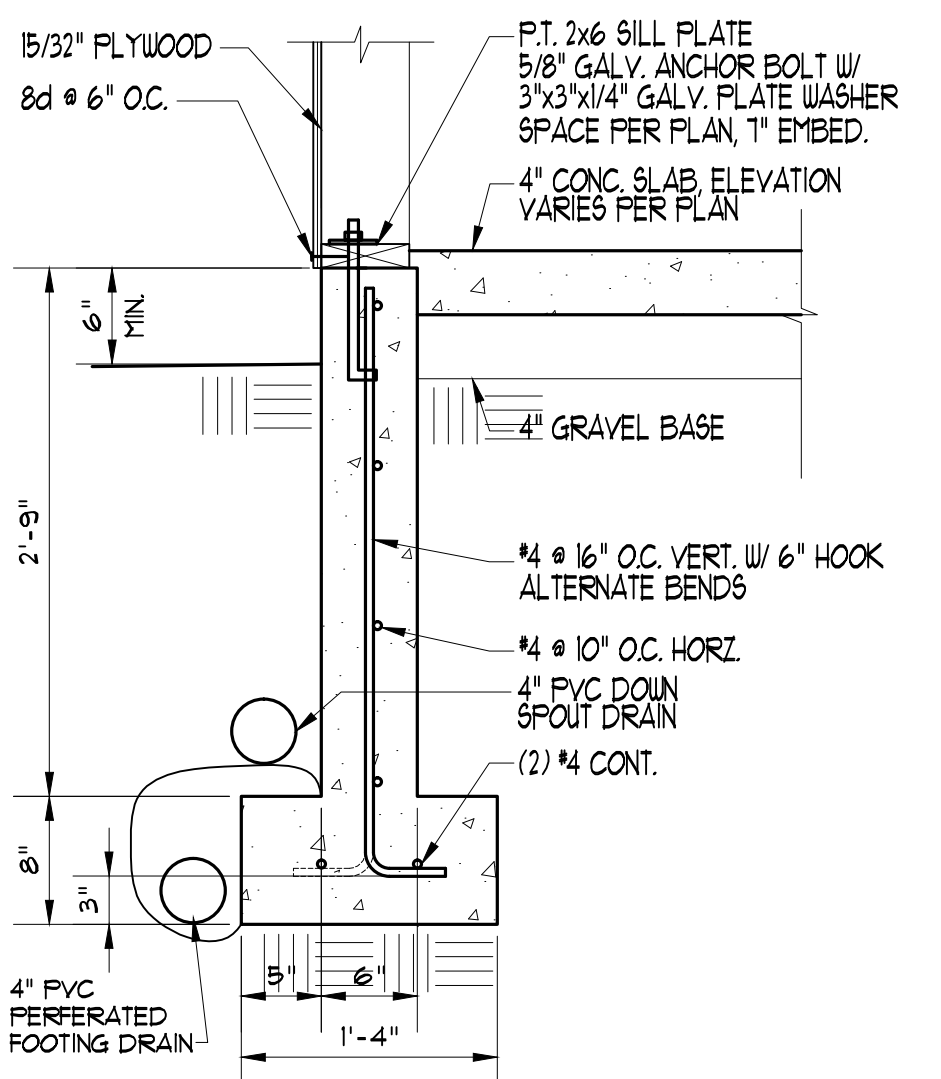
2 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



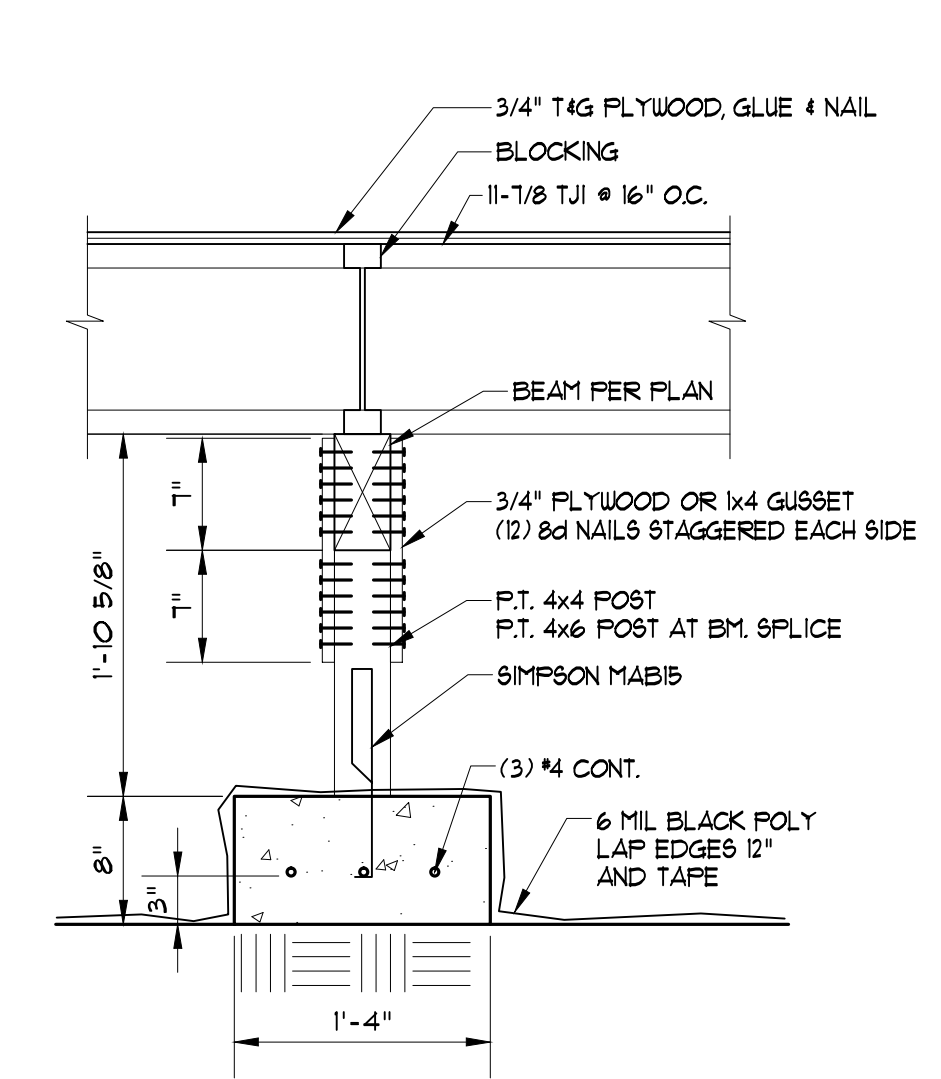
3 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



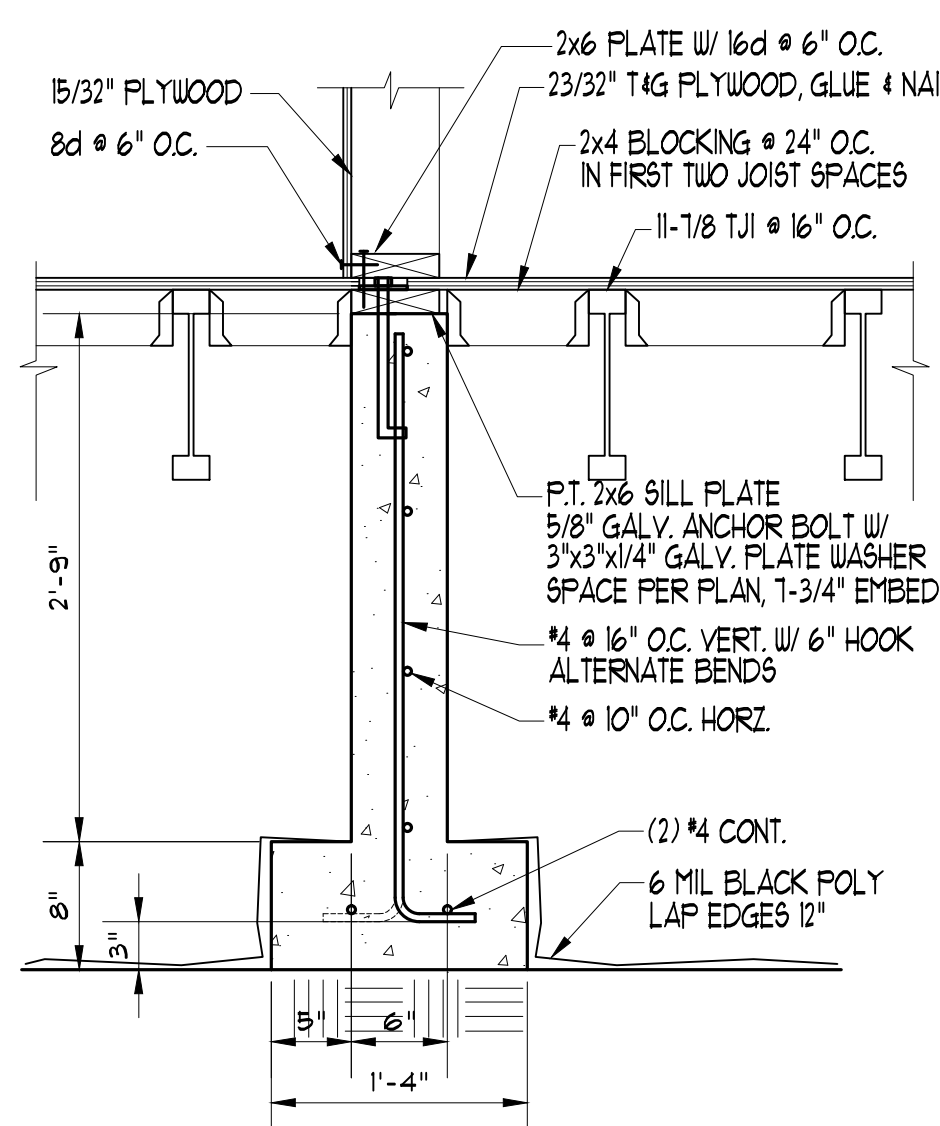
4 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



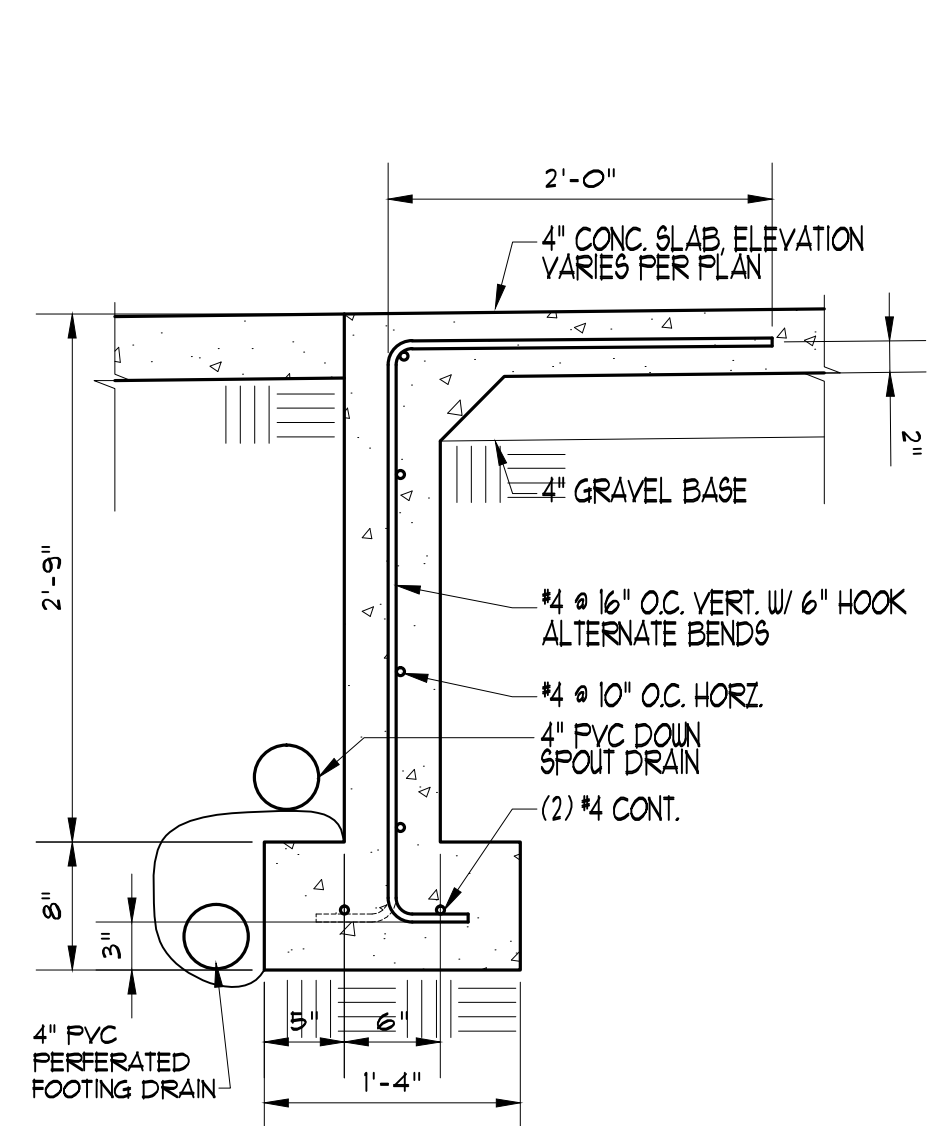
5 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



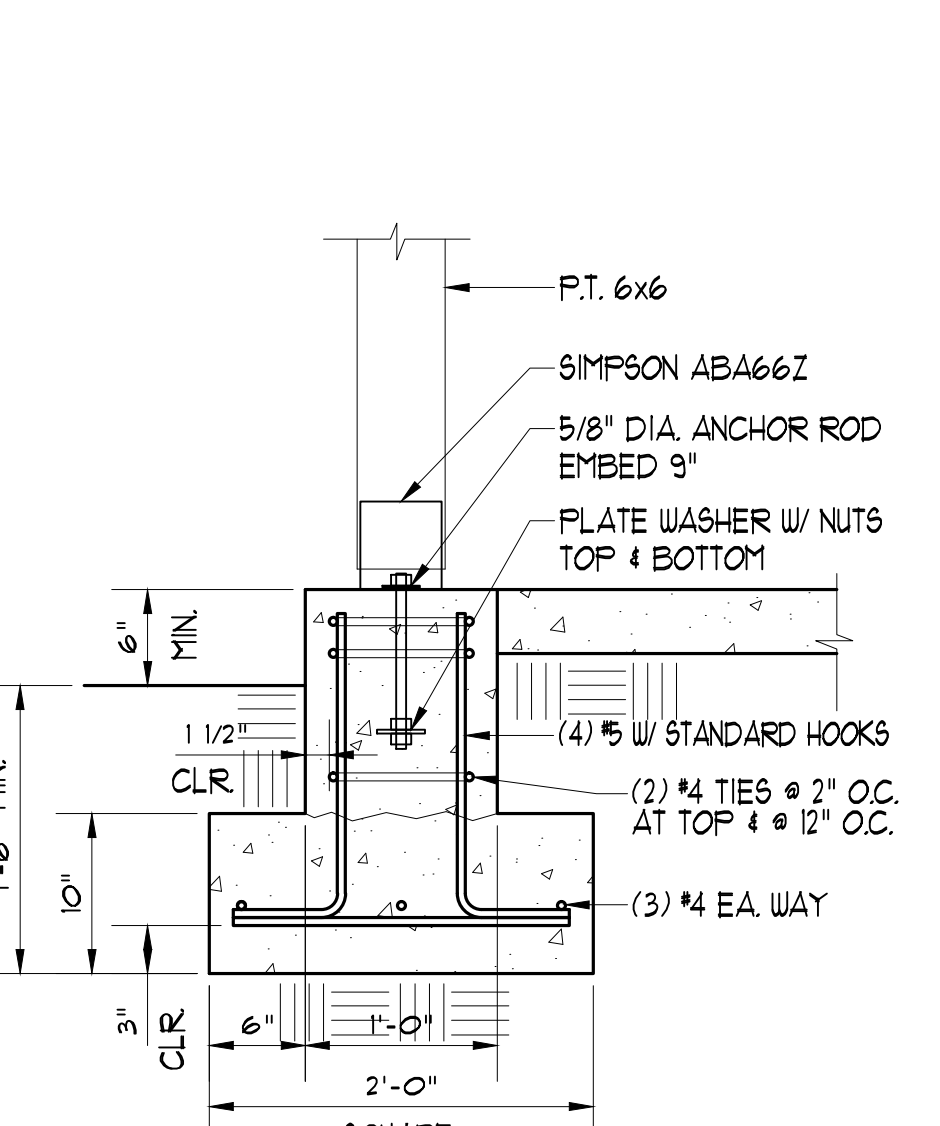
6 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



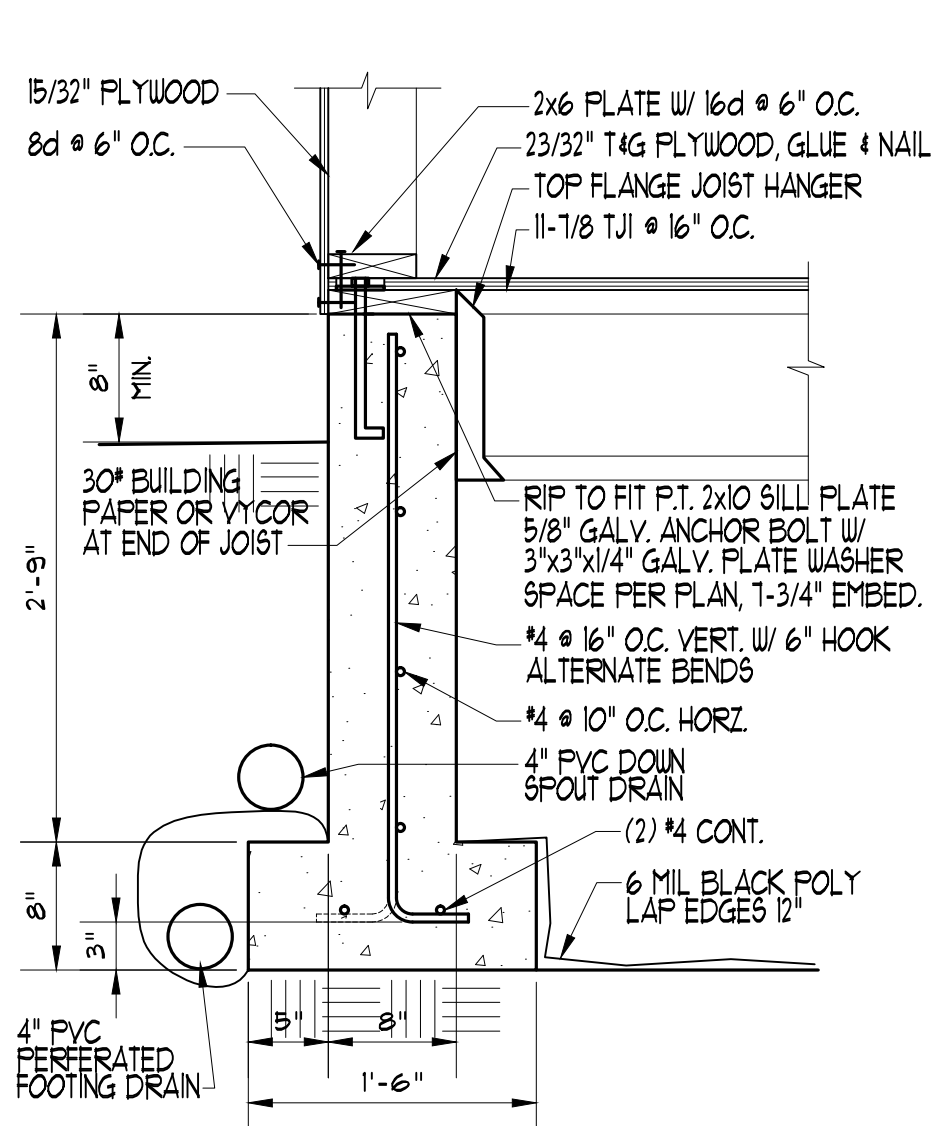
7 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



8 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



9 FOUNDATION DETAIL  
SCALE: 1"=1'-0"



10 FOUNDATION DETAIL  
SCALE: 1"=1'-0"

Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Frydahl, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 24, 46 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

6519 REGISTERED ARCHITECT  
Stephen Dorsey  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON



DETAILS

REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

A4.2



Stephen Dorsey, AIA  
Architect  
134 - 23rd St. SW  
Fuyallup, WA 98371  
Tel: (253) 845-5106



SINGLE FAMILY RESIDENCE  
LOTS 2,4,6 OF WANG SHORT FLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

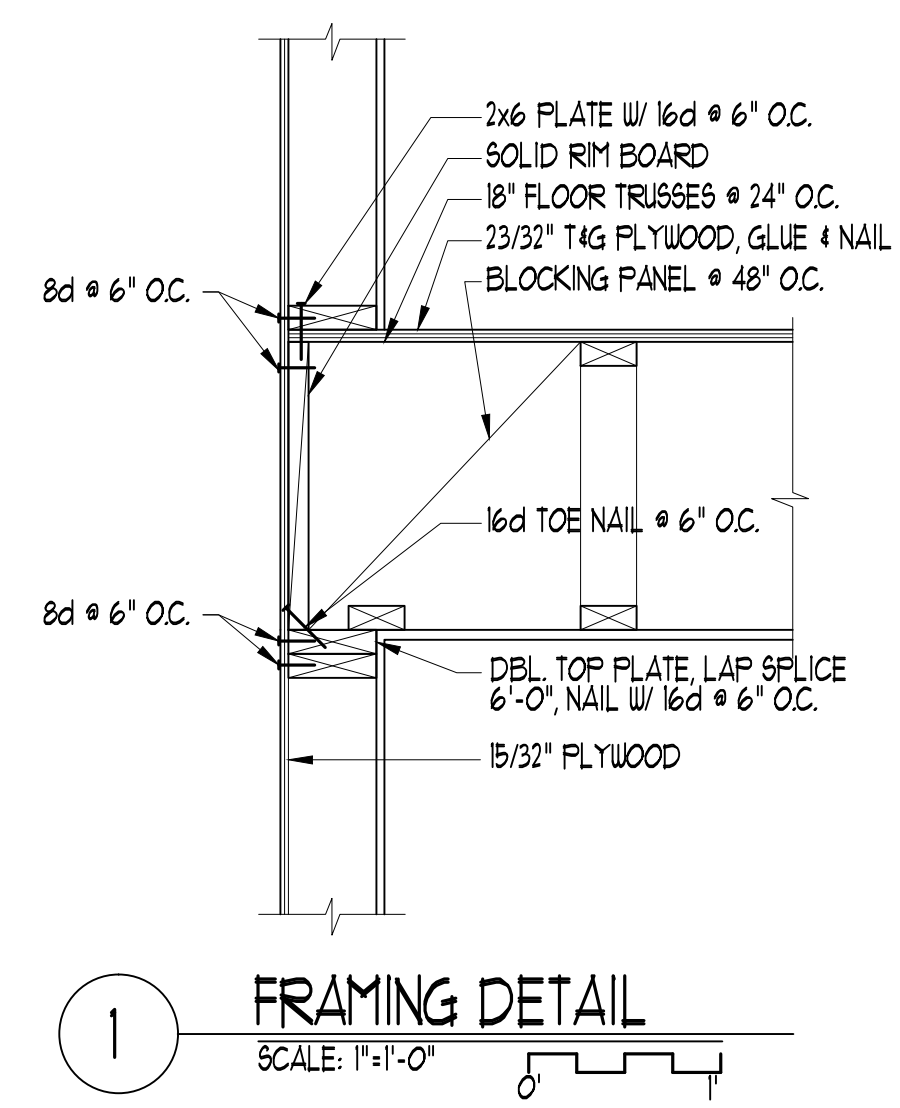
6519 REGISTERED  
ARCHITECT  
*Stephen Dorsey*  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

DETAILS

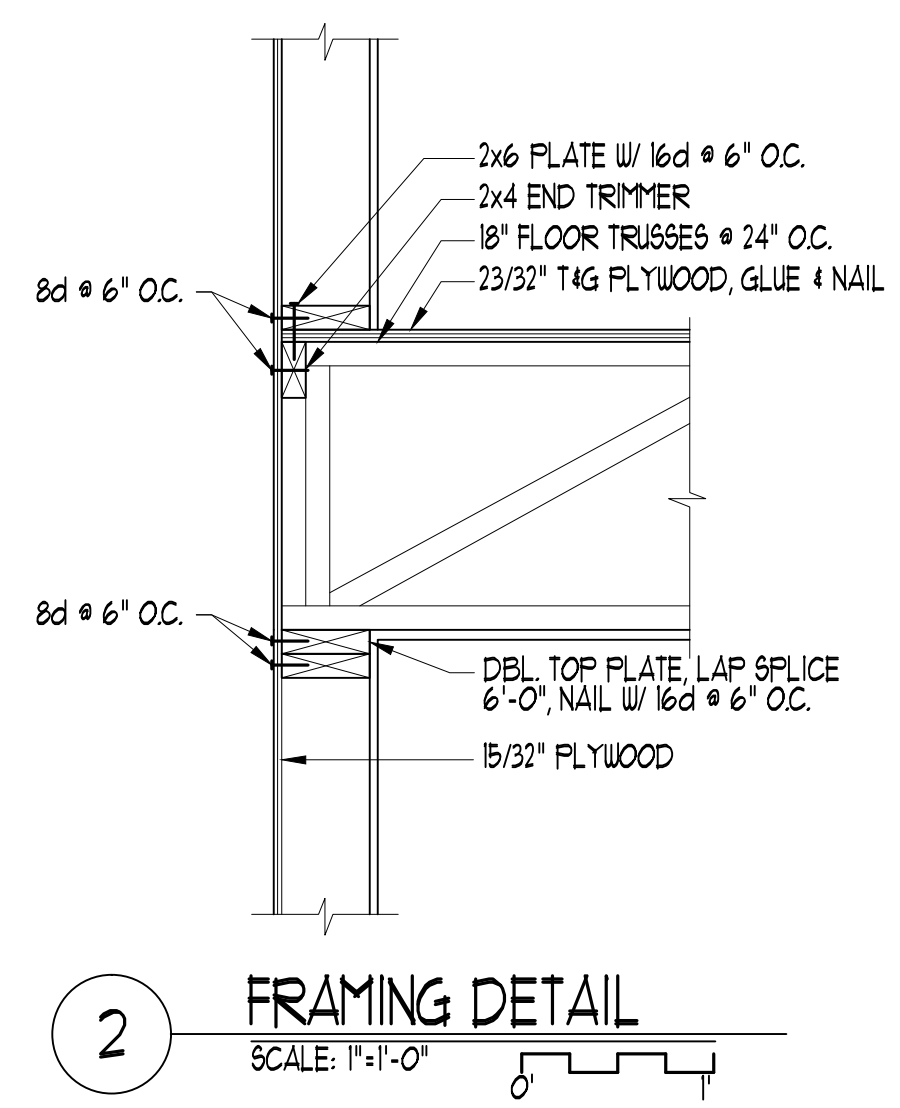
REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

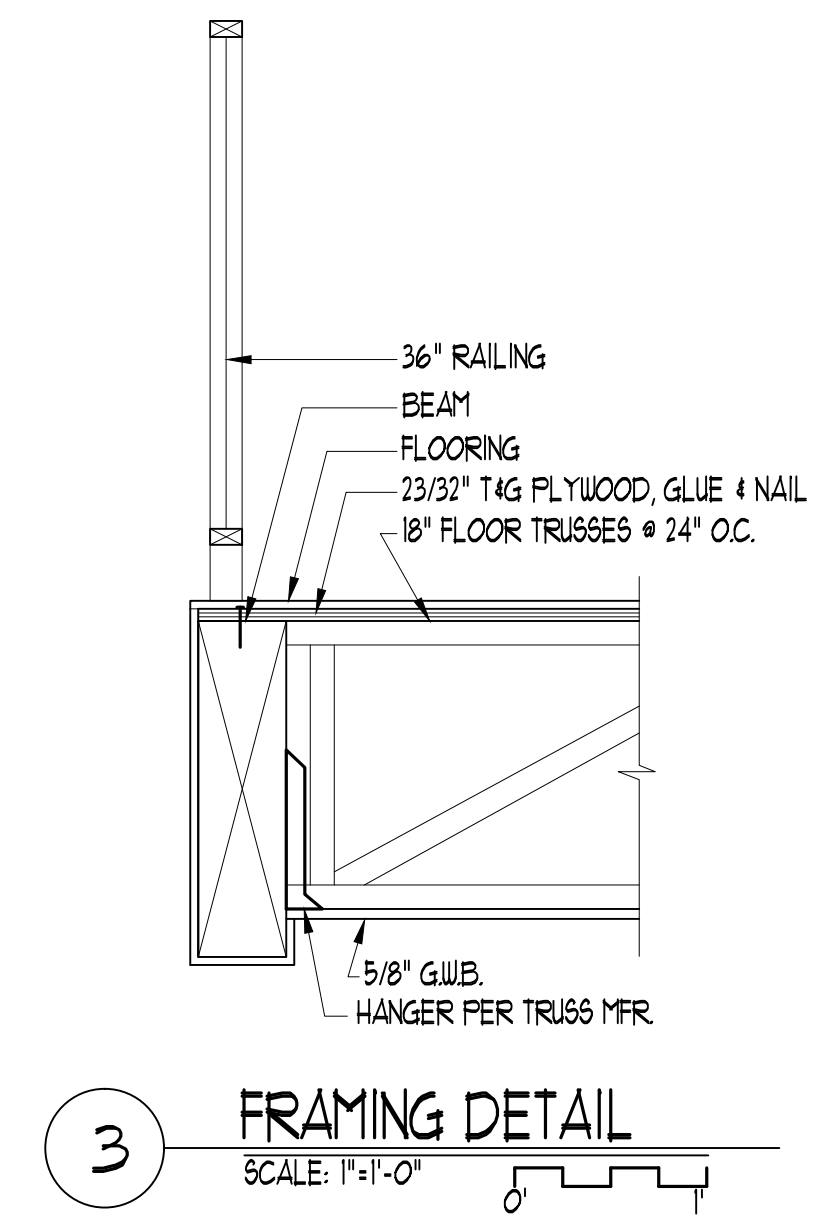
A4.3



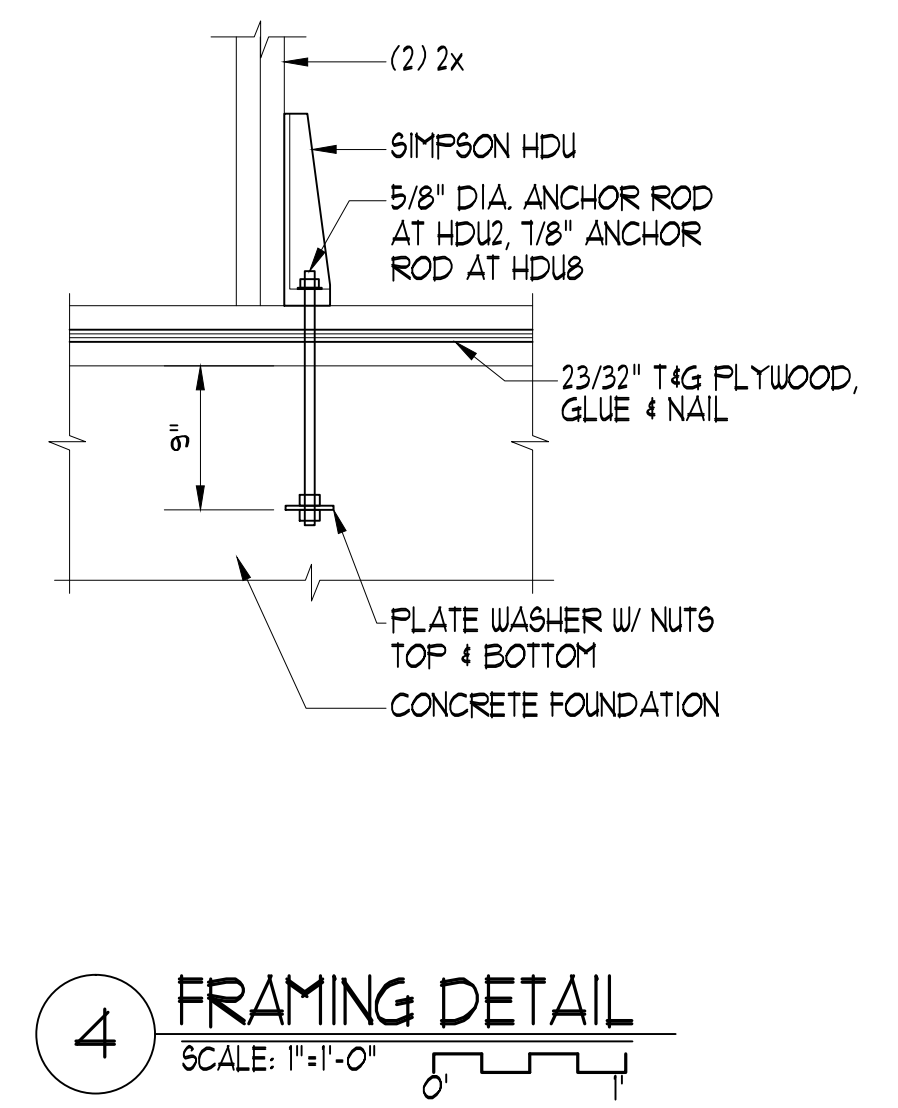
1 FRAMING DETAIL  
SCALE: 1"=1'-0"



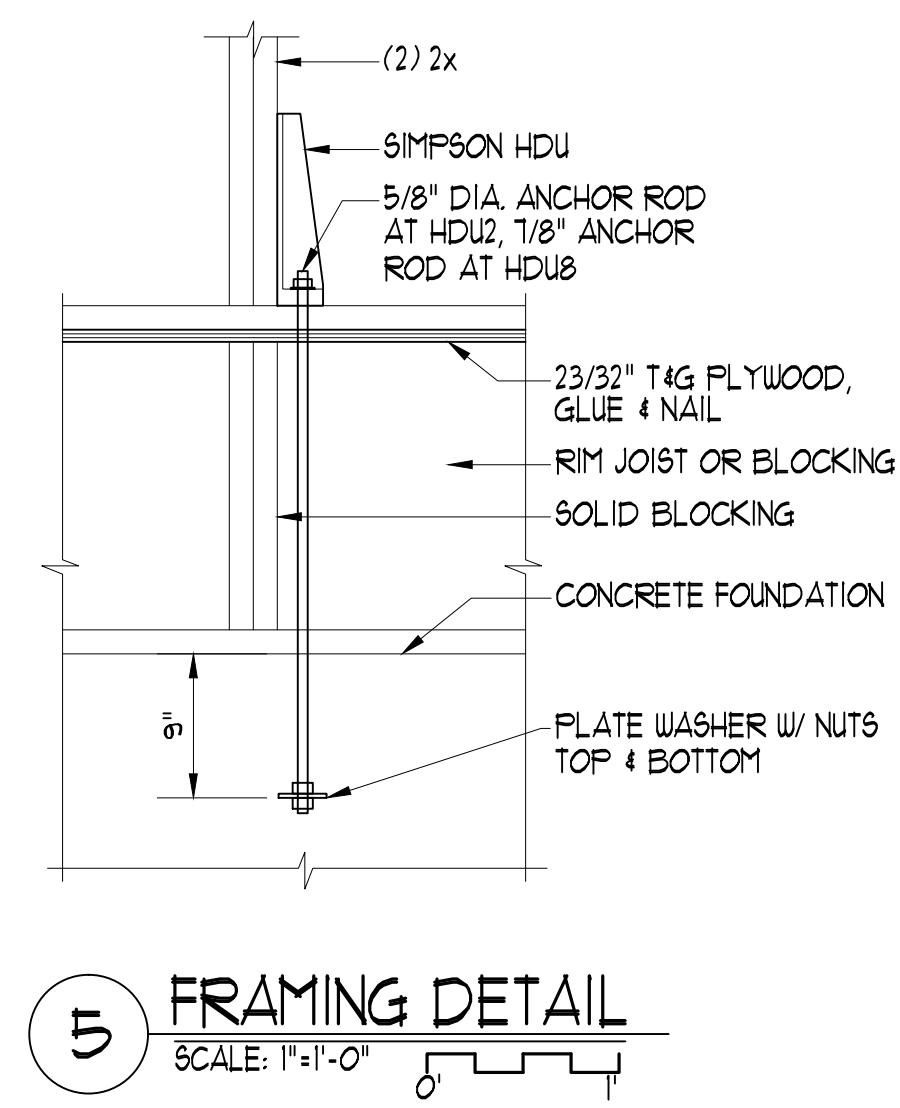
2 FRAMING DETAIL  
SCALE: 1"=1'-0"



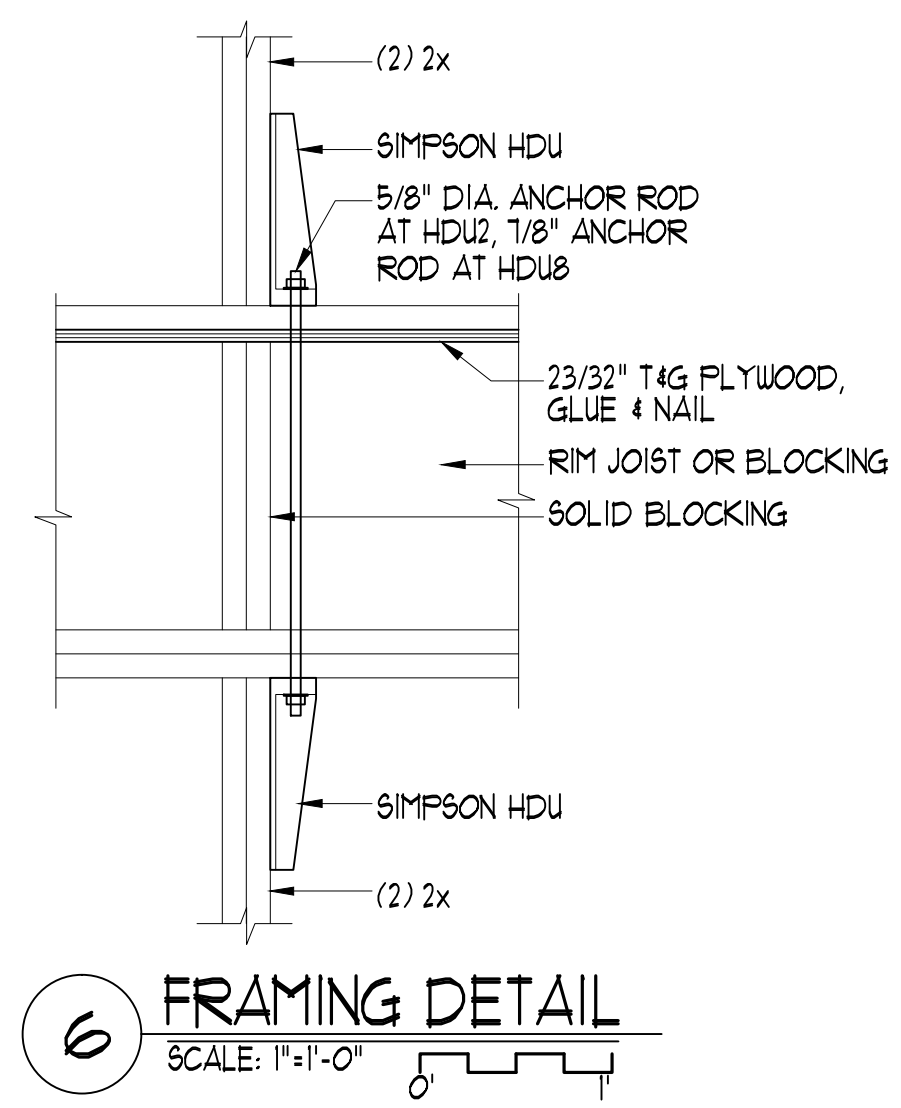
3 FRAMING DETAIL  
SCALE: 1"=1'-0"



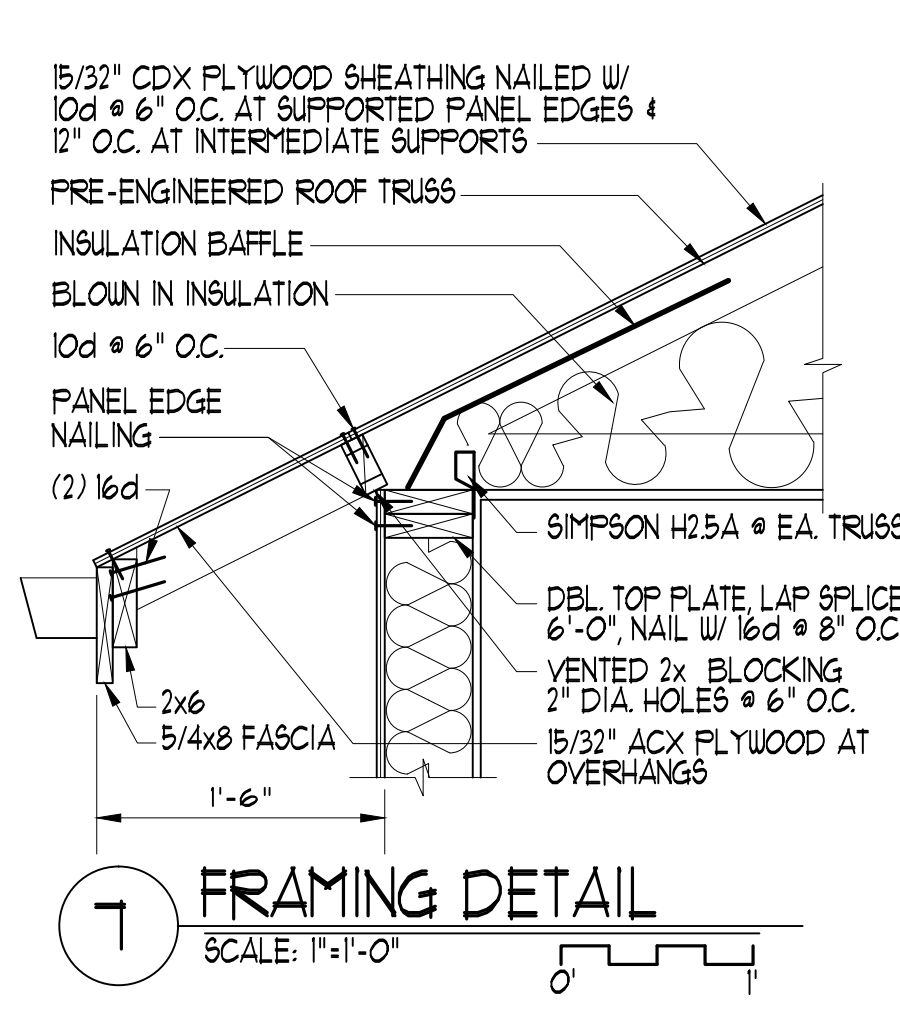
4 FRAMING DETAIL  
SCALE: 1"=1'-0"



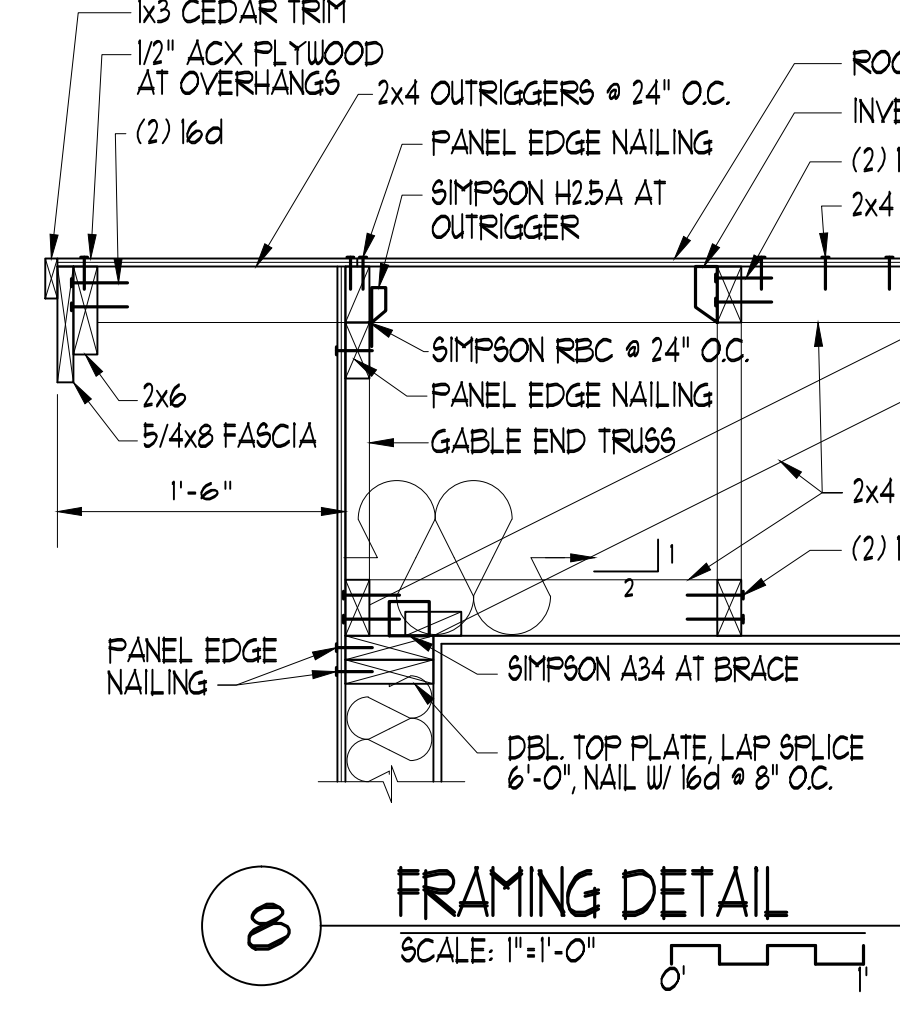
5 FRAMING DETAIL  
SCALE: 1"=1'-0"



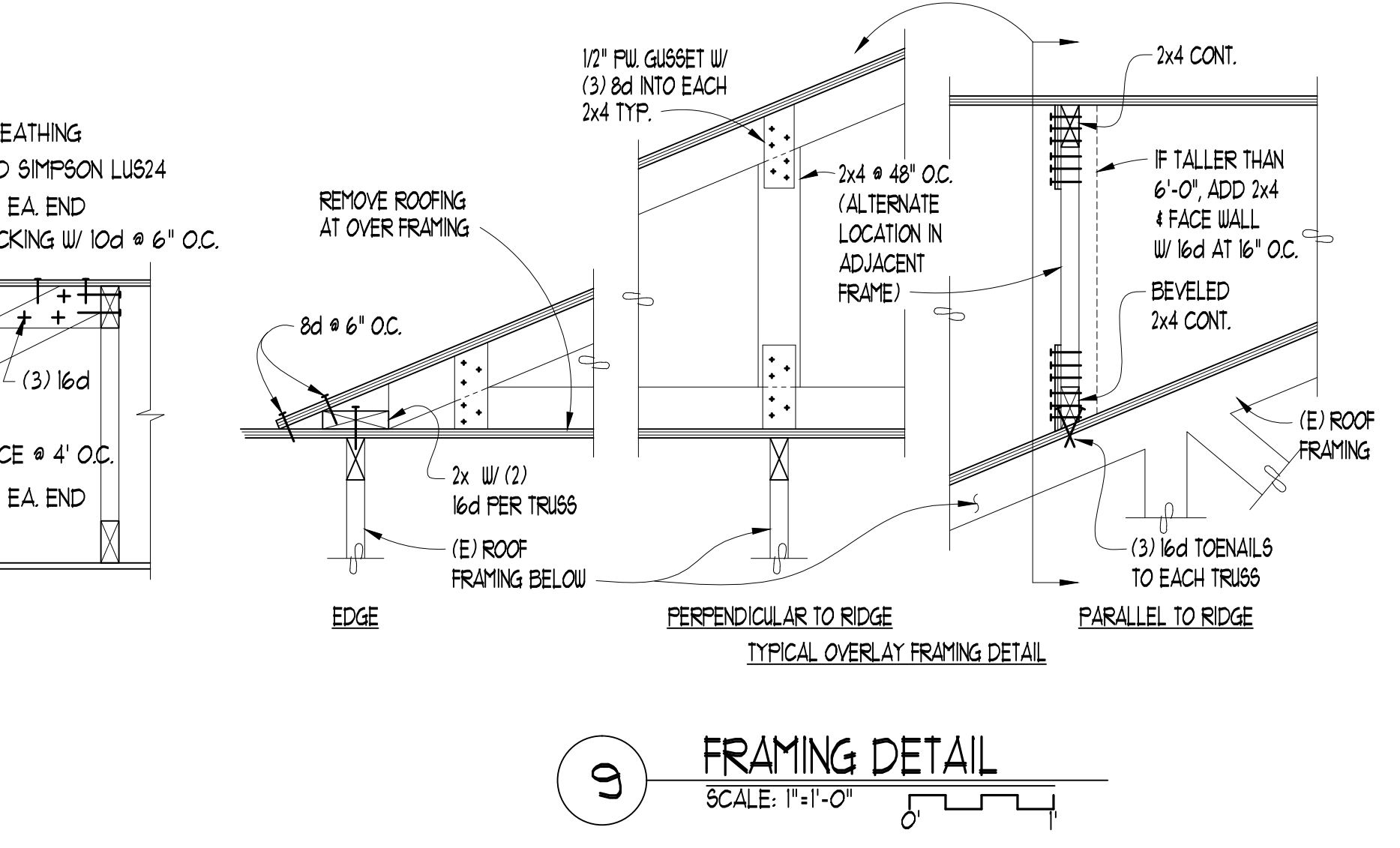
6 FRAMING DETAIL  
SCALE: 1"=1'-0"



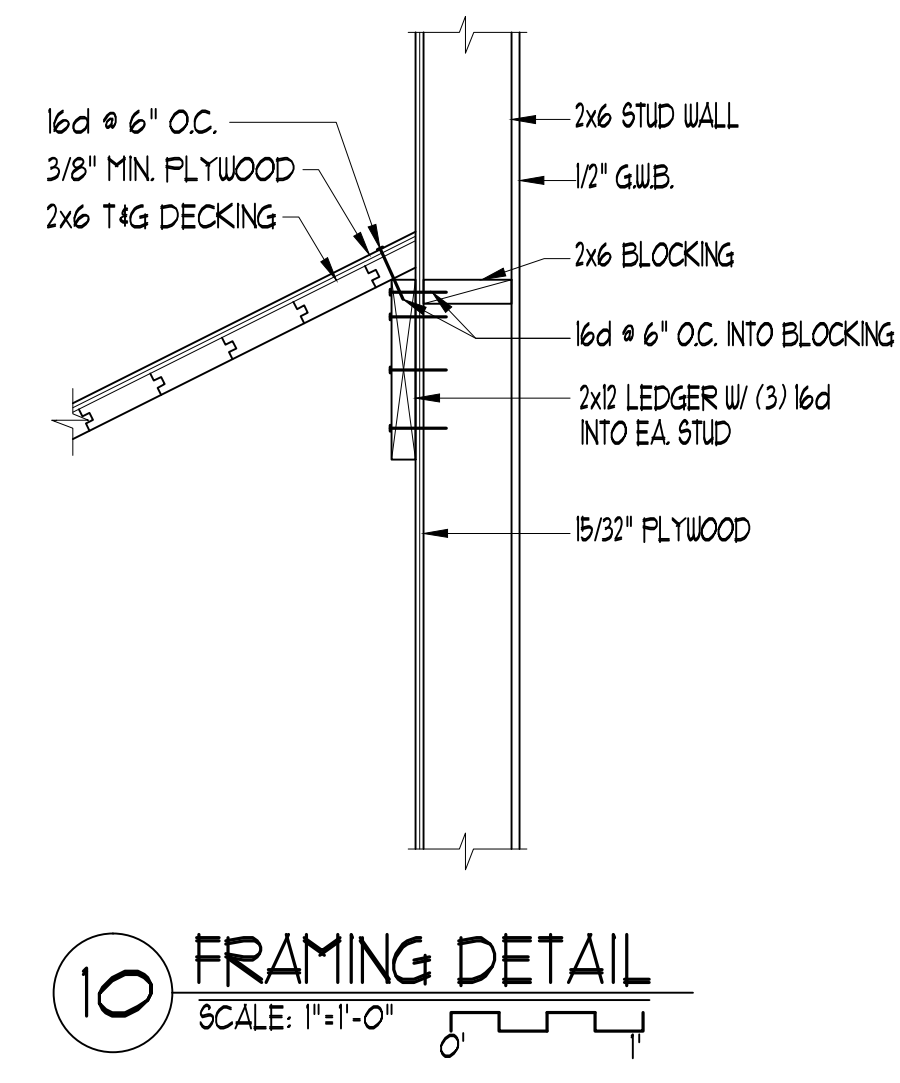
7 FRAMING DETAIL  
SCALE: 1"=1'-0"



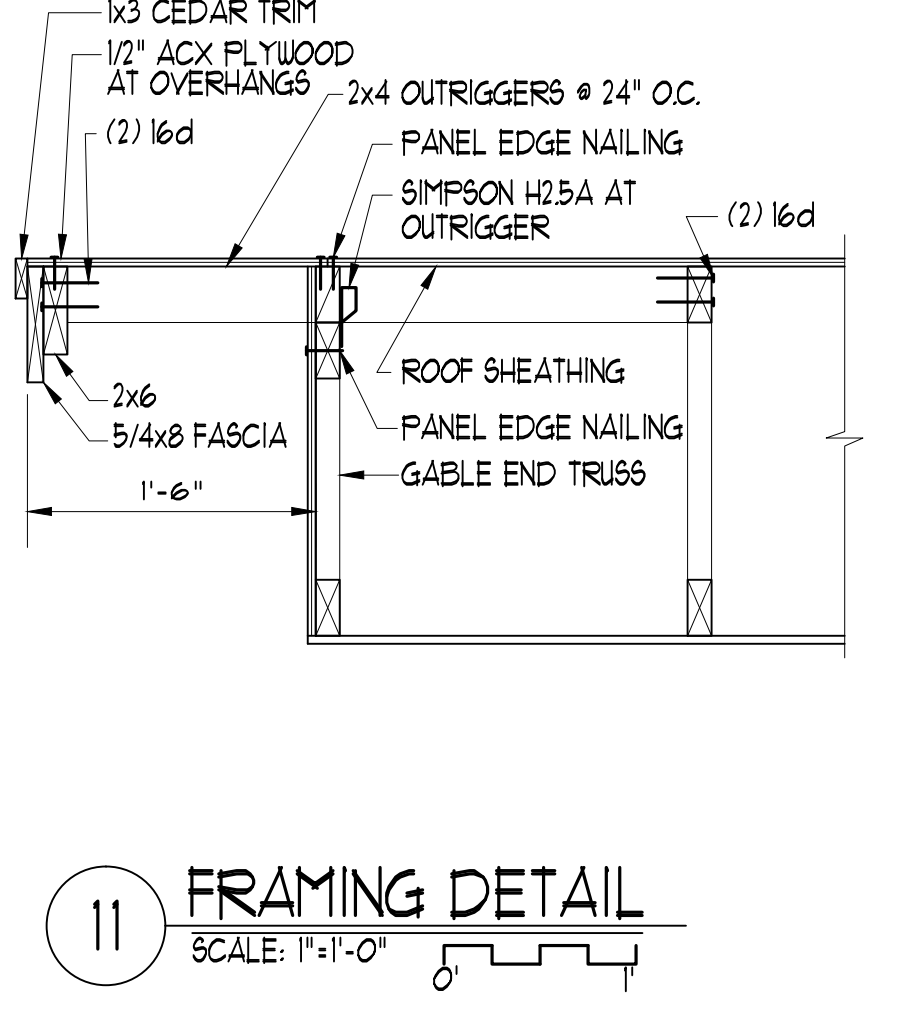
8 FRAMING DETAIL  
SCALE: 1"=1'-0"



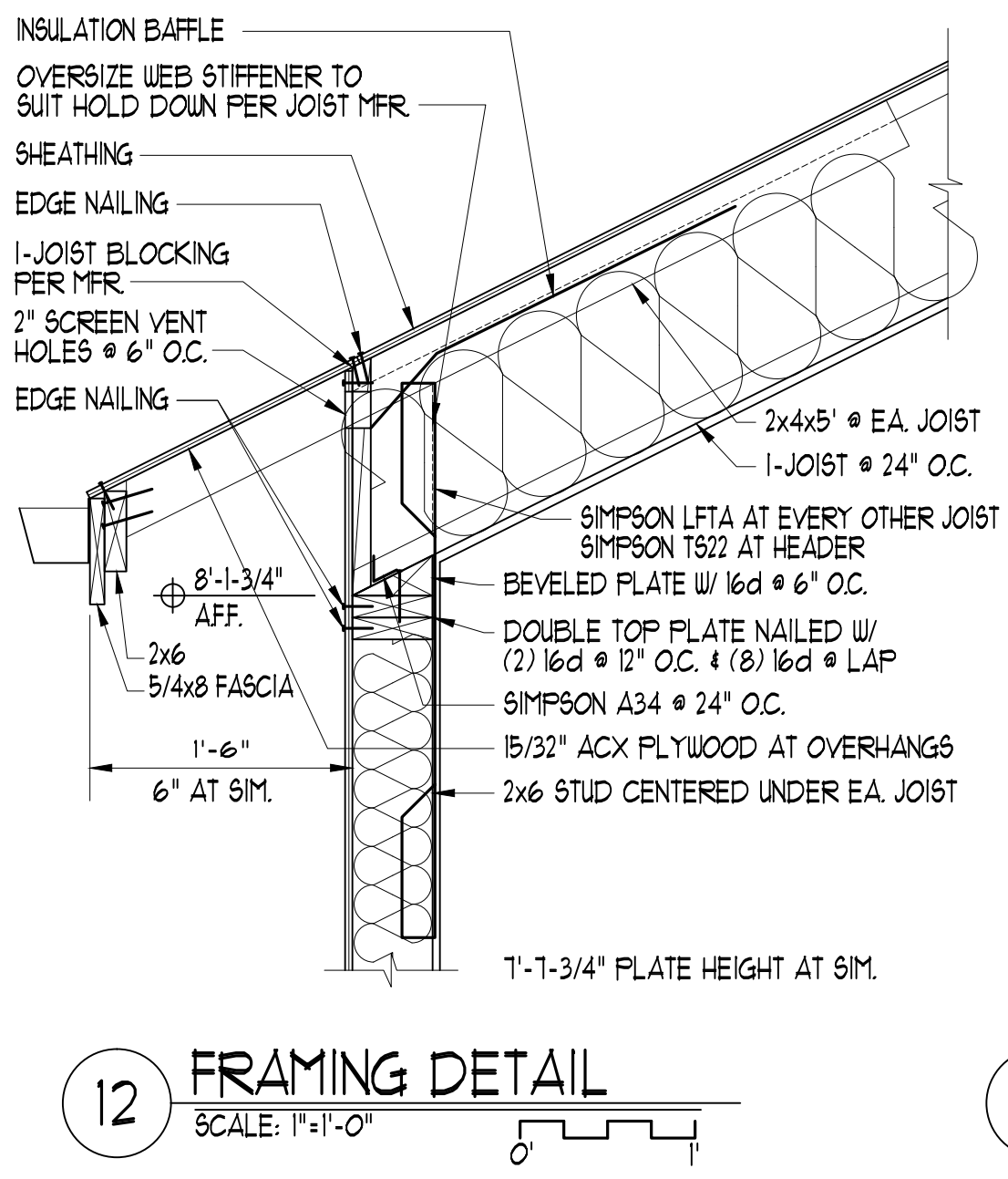
9 FRAMING DETAIL  
SCALE: 1"=1'-0"



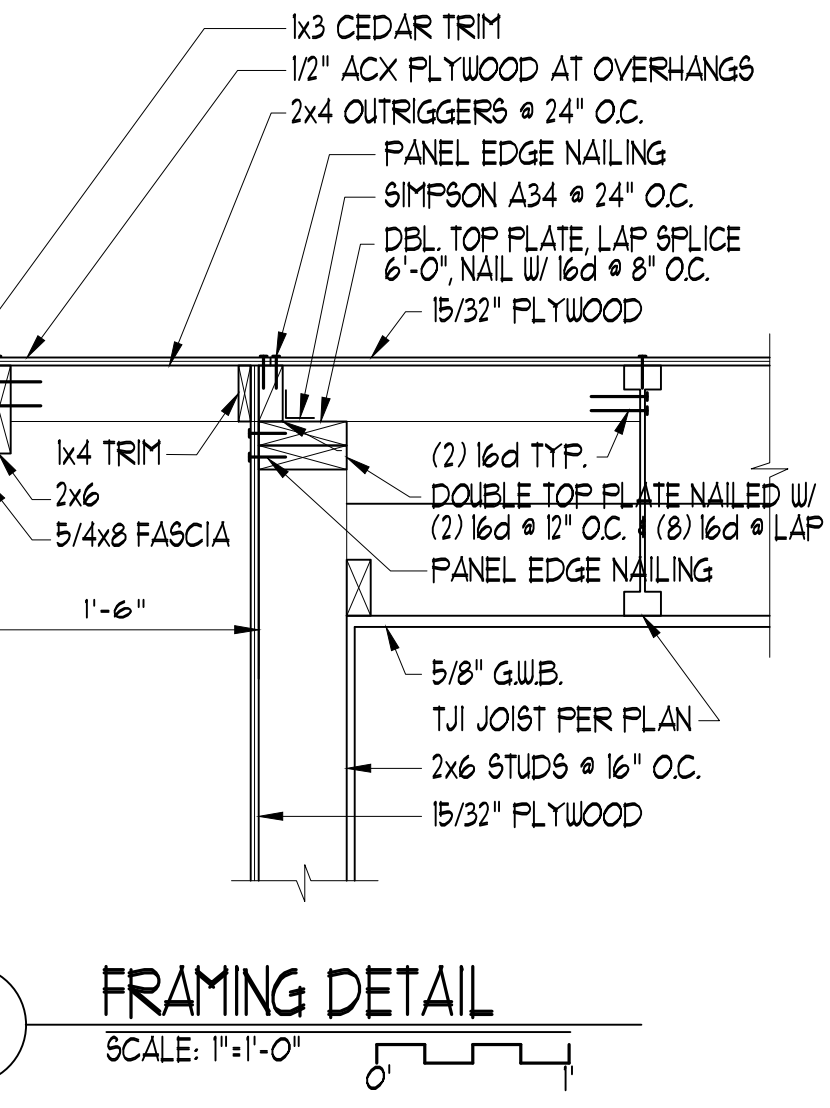
10 FRAMING DETAIL  
SCALE: 1"=1'-0"



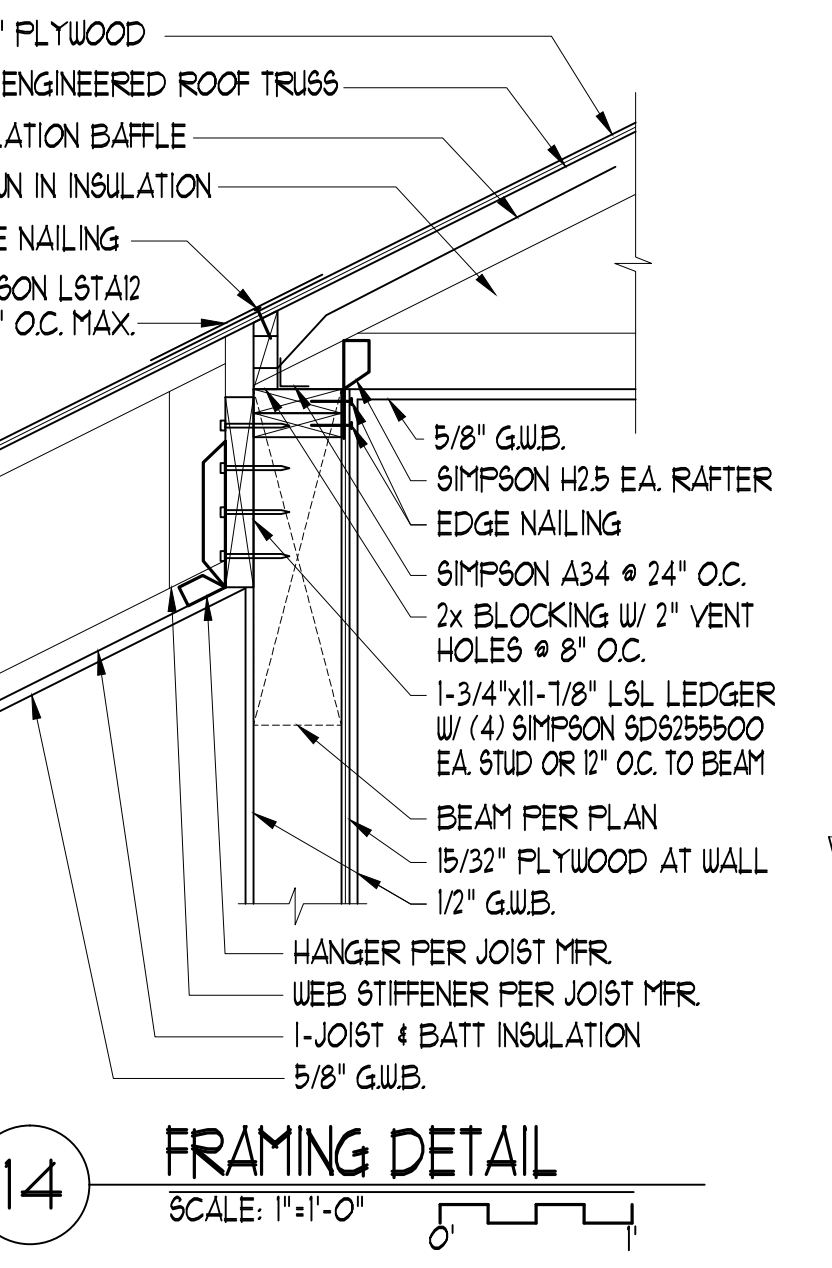
11 FRAMING DETAIL  
SCALE: 1"=1'-0"



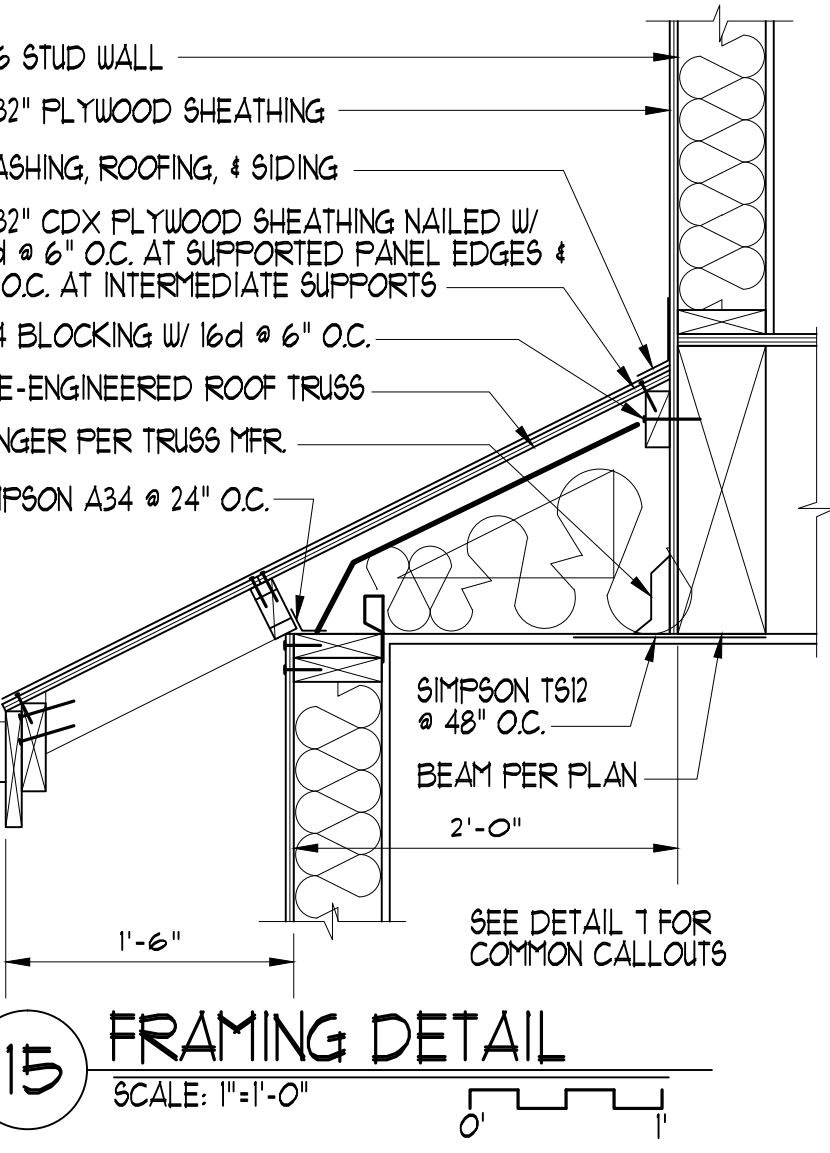
12 FRAMING DETAIL  
SCALE: 1"=1'-0"



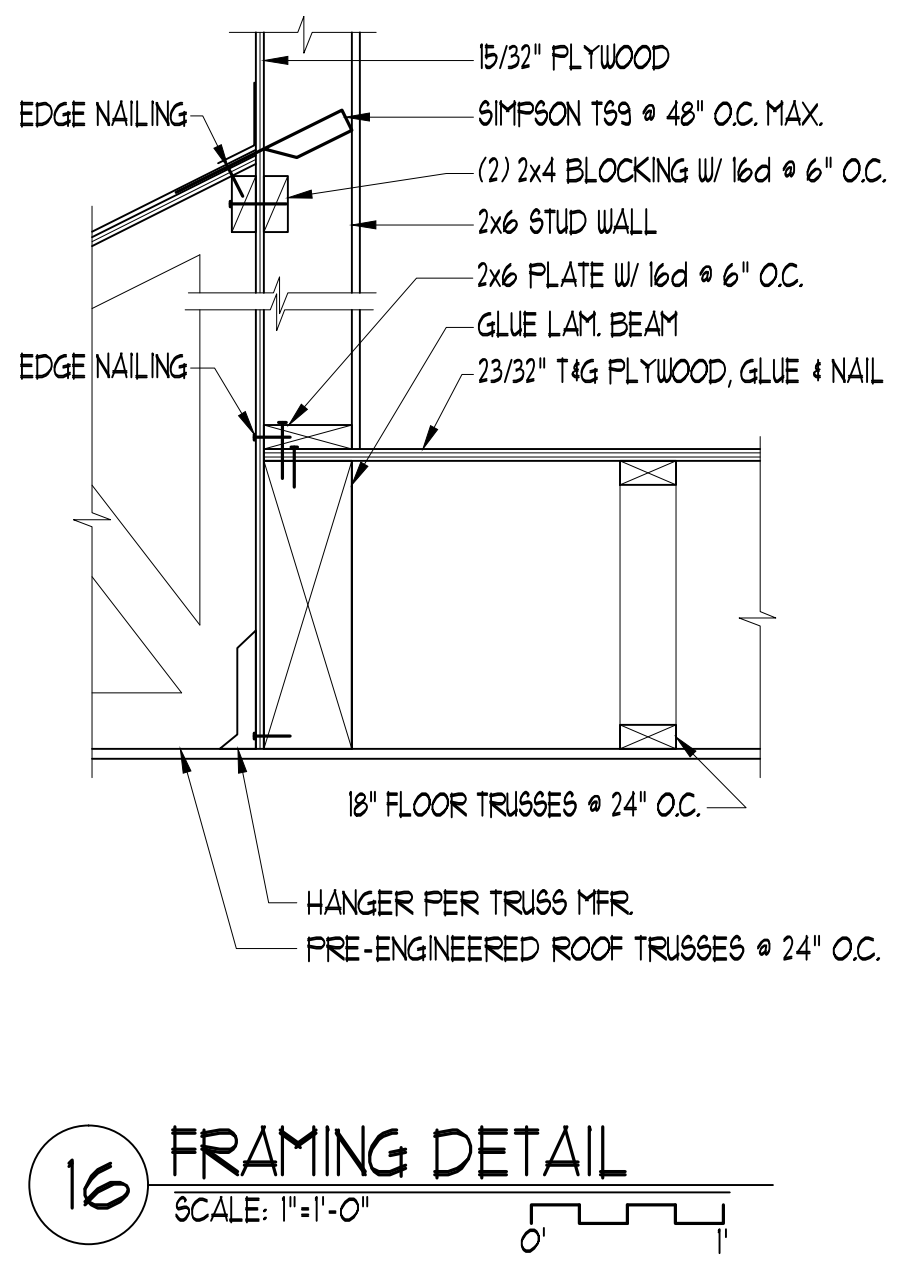
13 FRAMING DETAIL  
SCALE: 1"=1'-0"



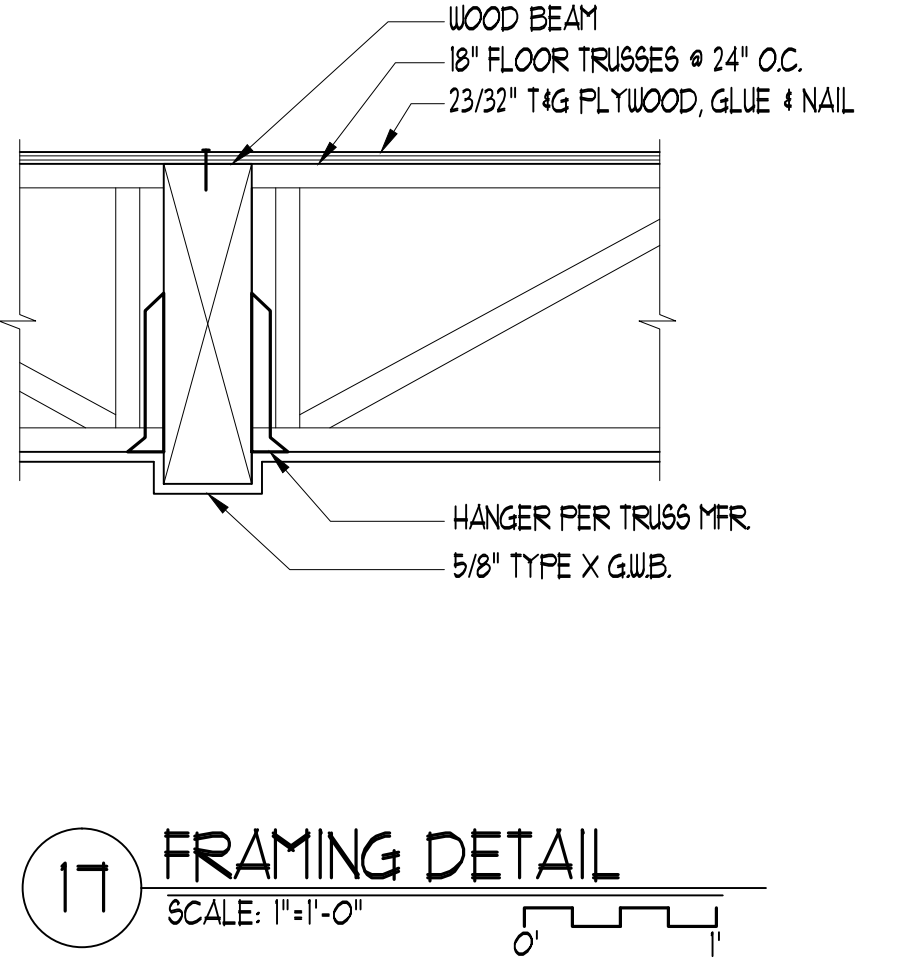
14 FRAMING DETAIL  
SCALE: 1"=1'-0"



15 FRAMING DETAIL  
SCALE: 1"=1'-0"



16 FRAMING DETAIL  
SCALE: 1"=1'-0"



17 FRAMING DETAIL  
SCALE: 1"=1'-0"

Stephen Dorsey AIA  
Architect  
134 - 23rd St. SW  
Puyallup, WA 98371  
Tel: (253)845-5106



SINGLE FAMILY RESIDENCE  
LOTS 24, 26 OF WANG SHORT PLAT  
19016 116TH AVE SE  
RENTON, WASHINGTON 98058

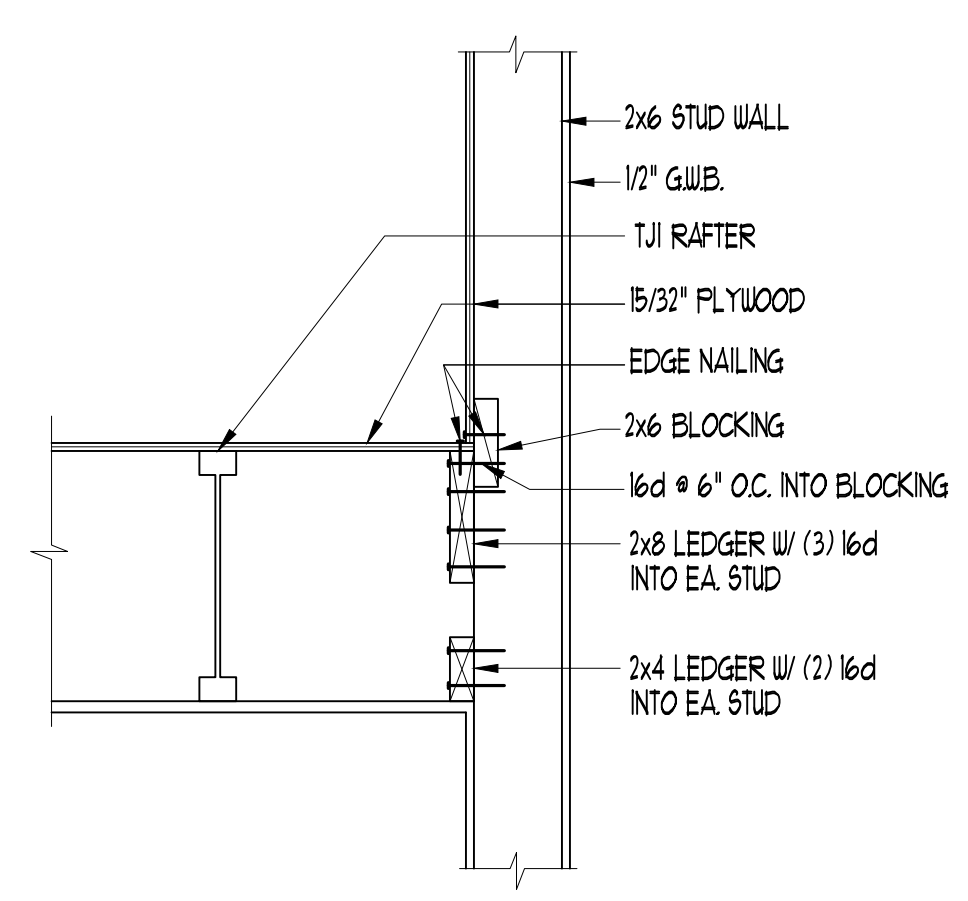
6519 REGISTERED  
ARCHITECT  
*Stephen Dorsey*  
STEPHEN ARTHUR DORSEY  
STATE OF WASHINGTON

DETAILS

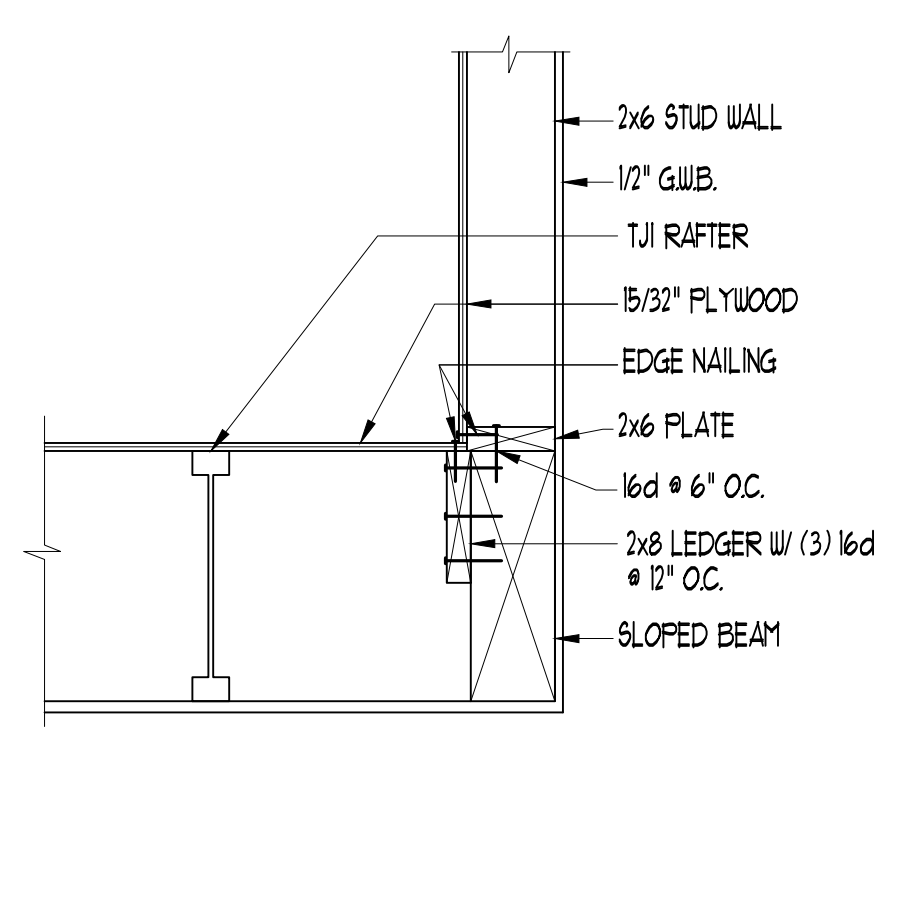
REVISION

DATE: 15 DEC. 2021  
PROJECT NO: 18-608  
SHEET:

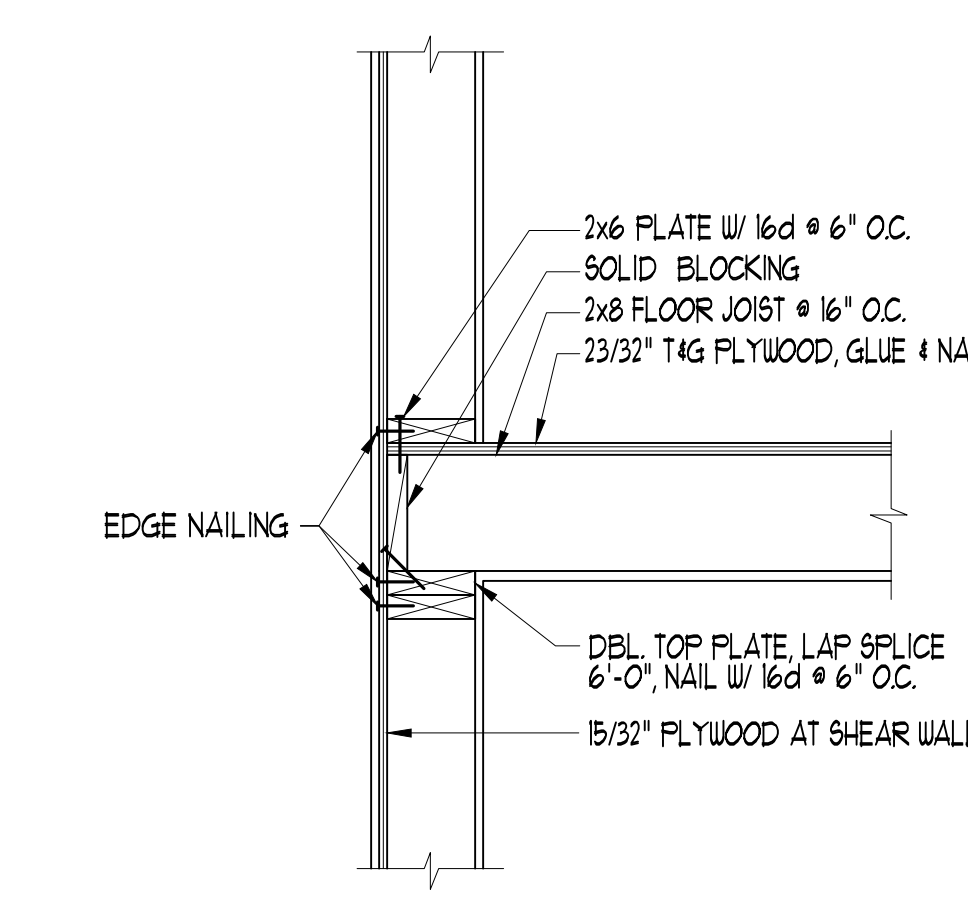
A4.4



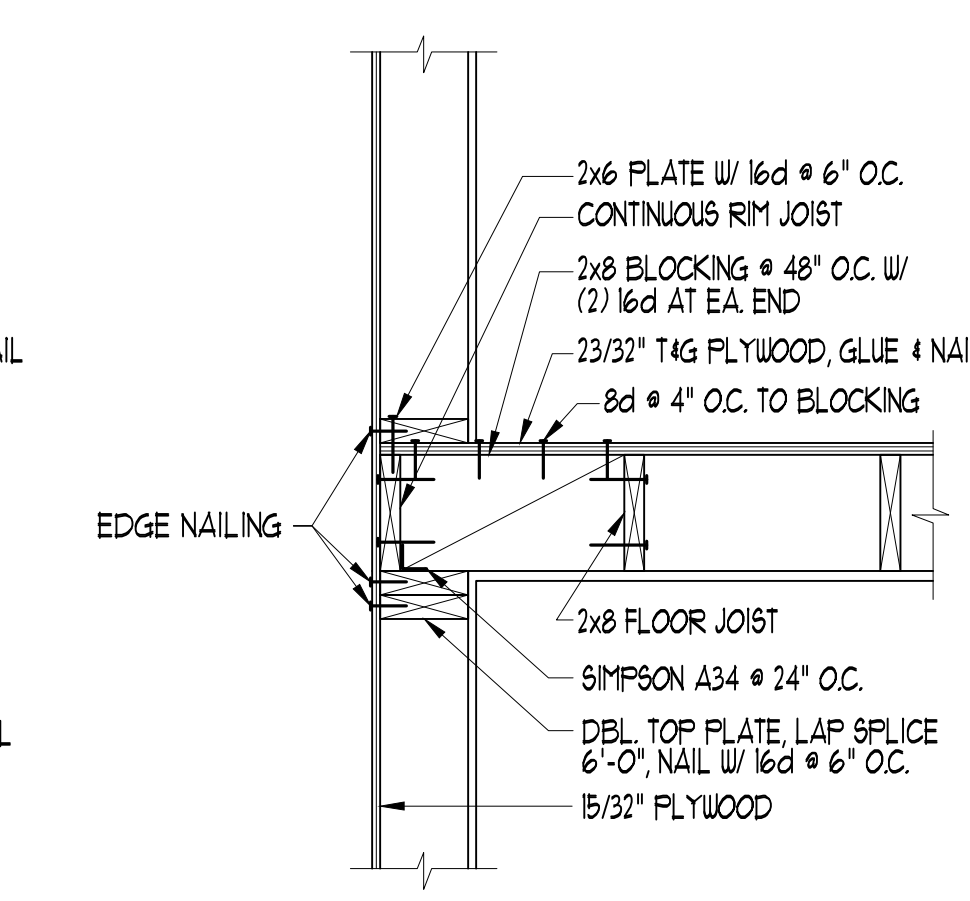
1 FRAMING DETAIL  
SCALE: 1"=1'-0"



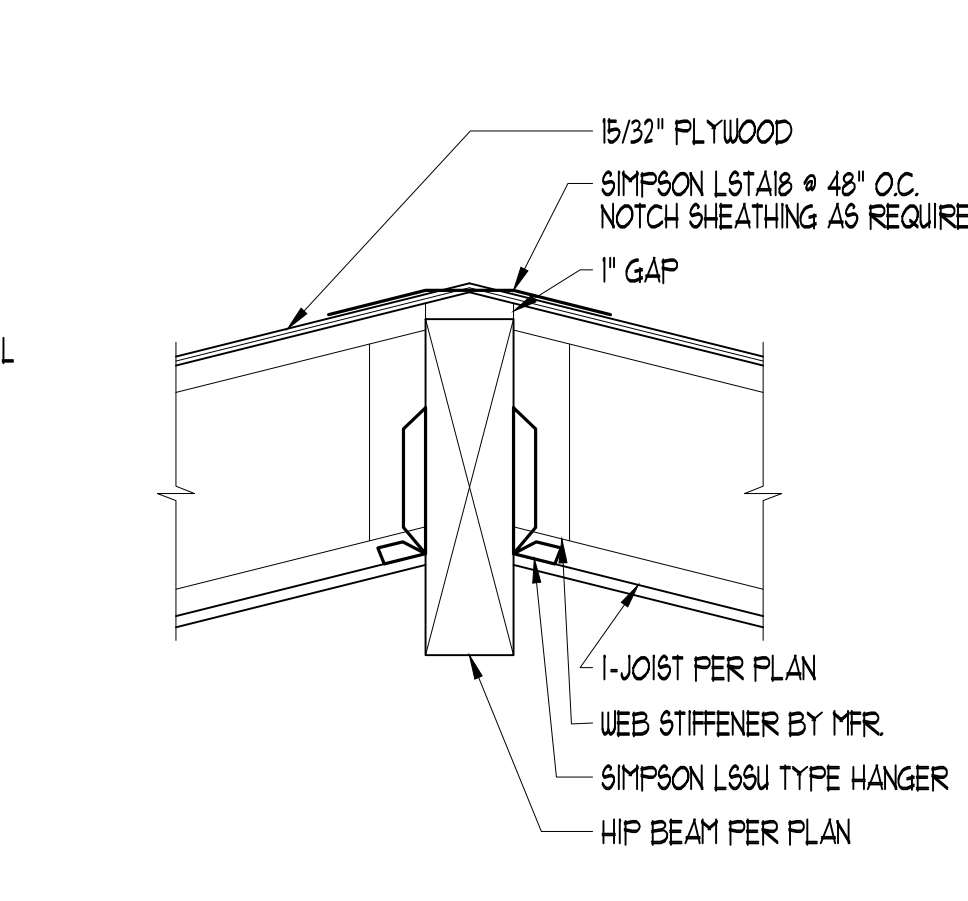
2 FRAMING DETAIL  
SCALE: 1"=1'-0"



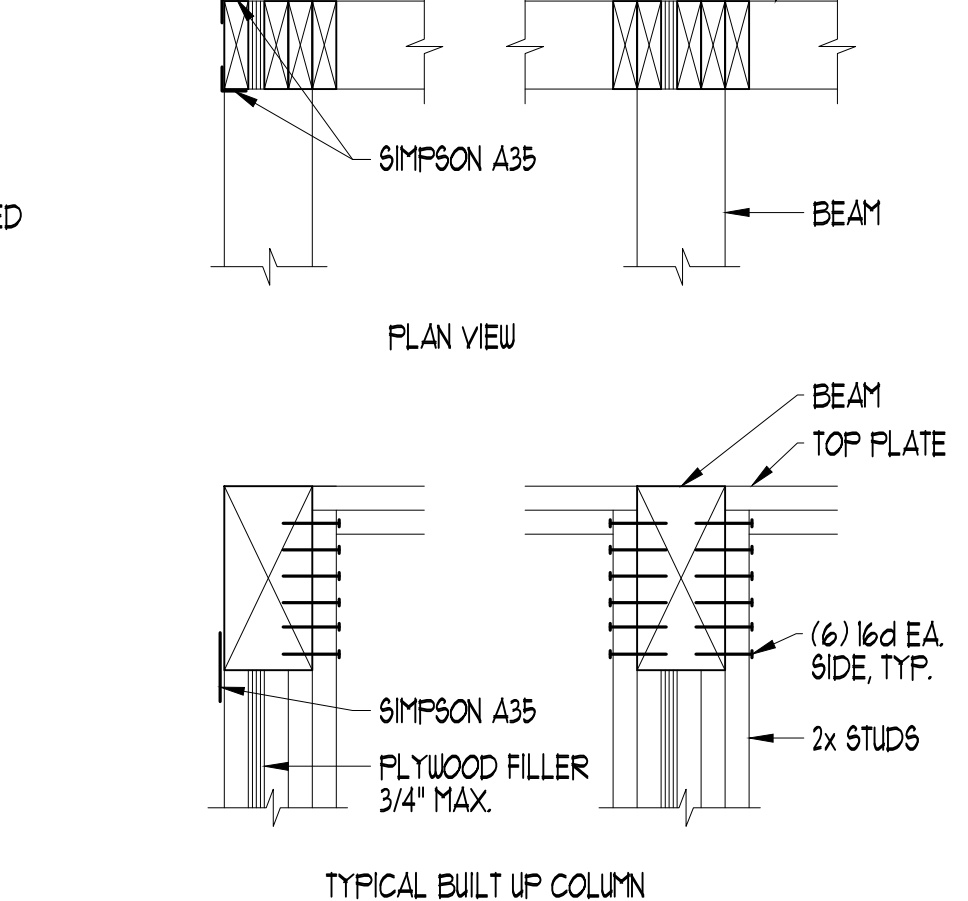
3 FRAMING DETAIL  
SCALE: 1"=1'-0"



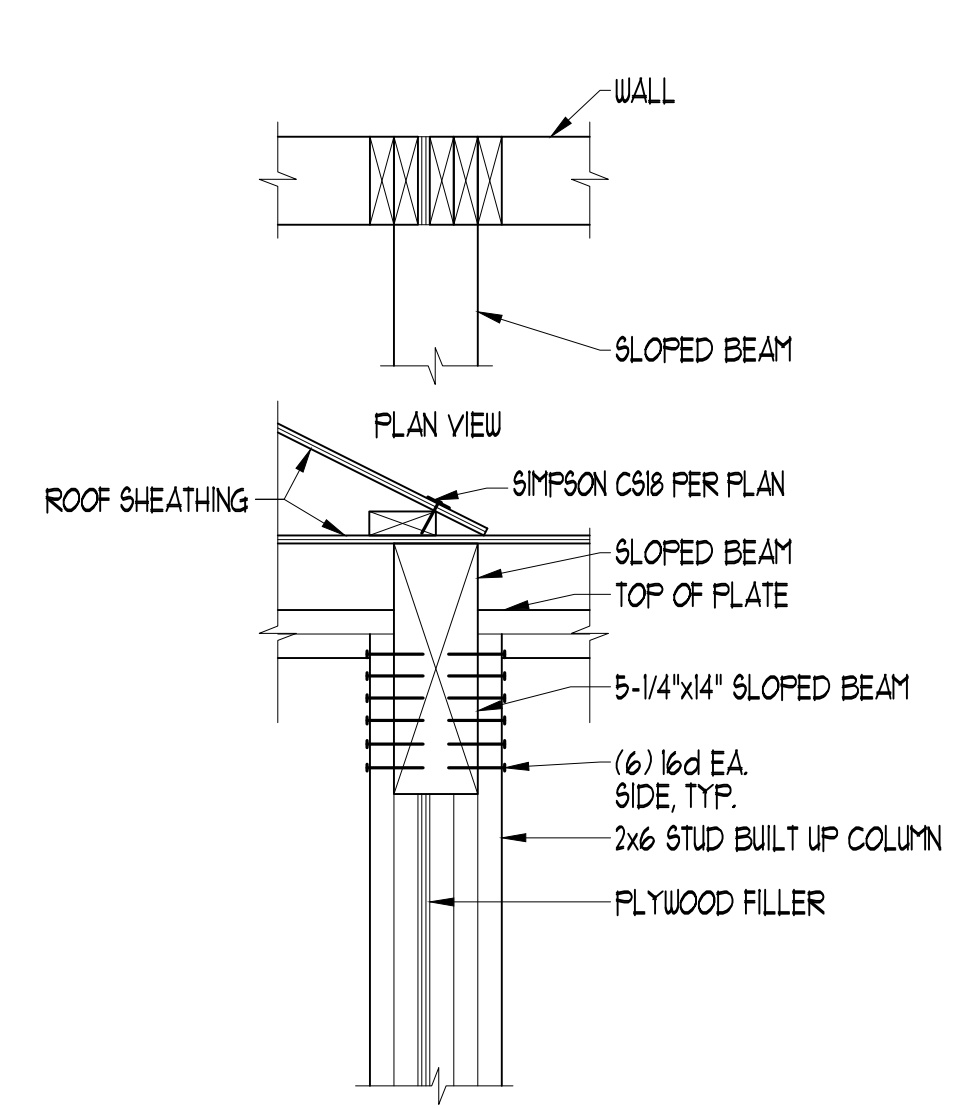
4 FRAMING DETAIL  
SCALE: 1"=1'-0"



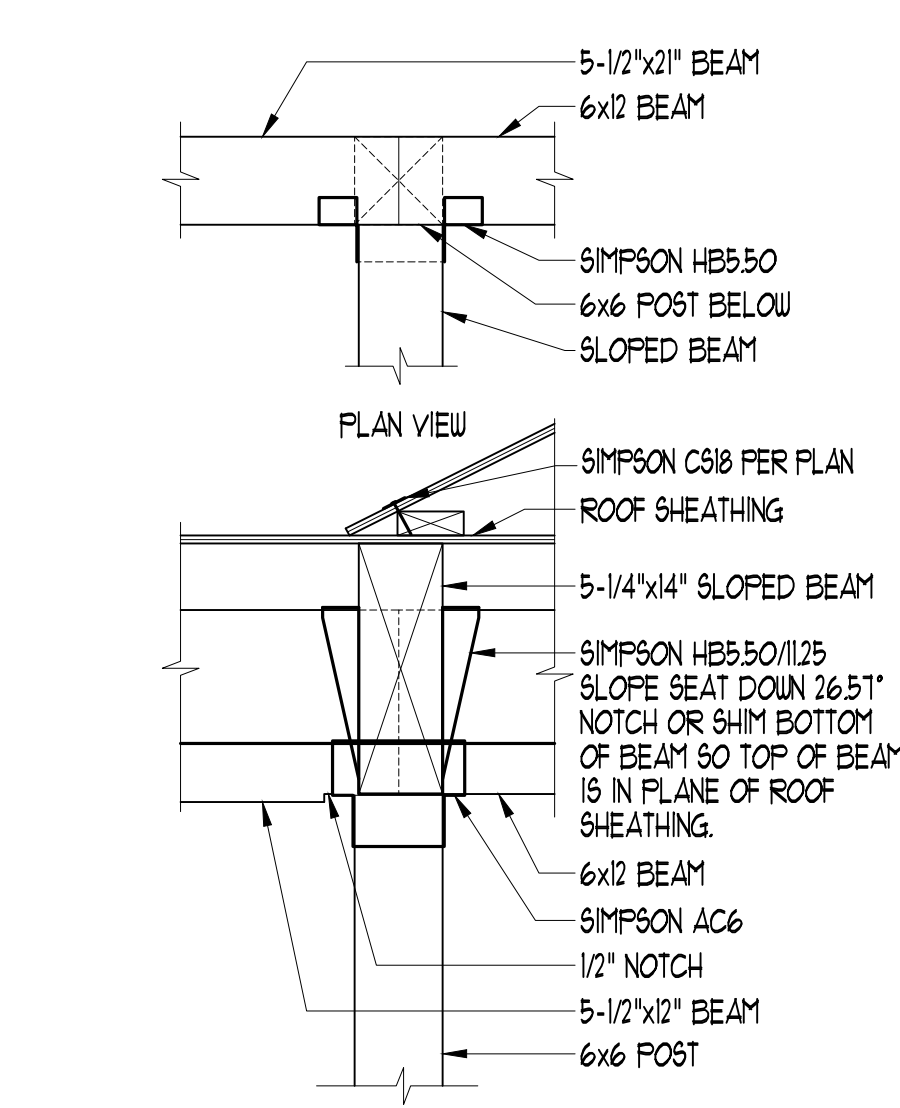
5 FRAMING DETAIL  
SCALE: 1"=1'-0"



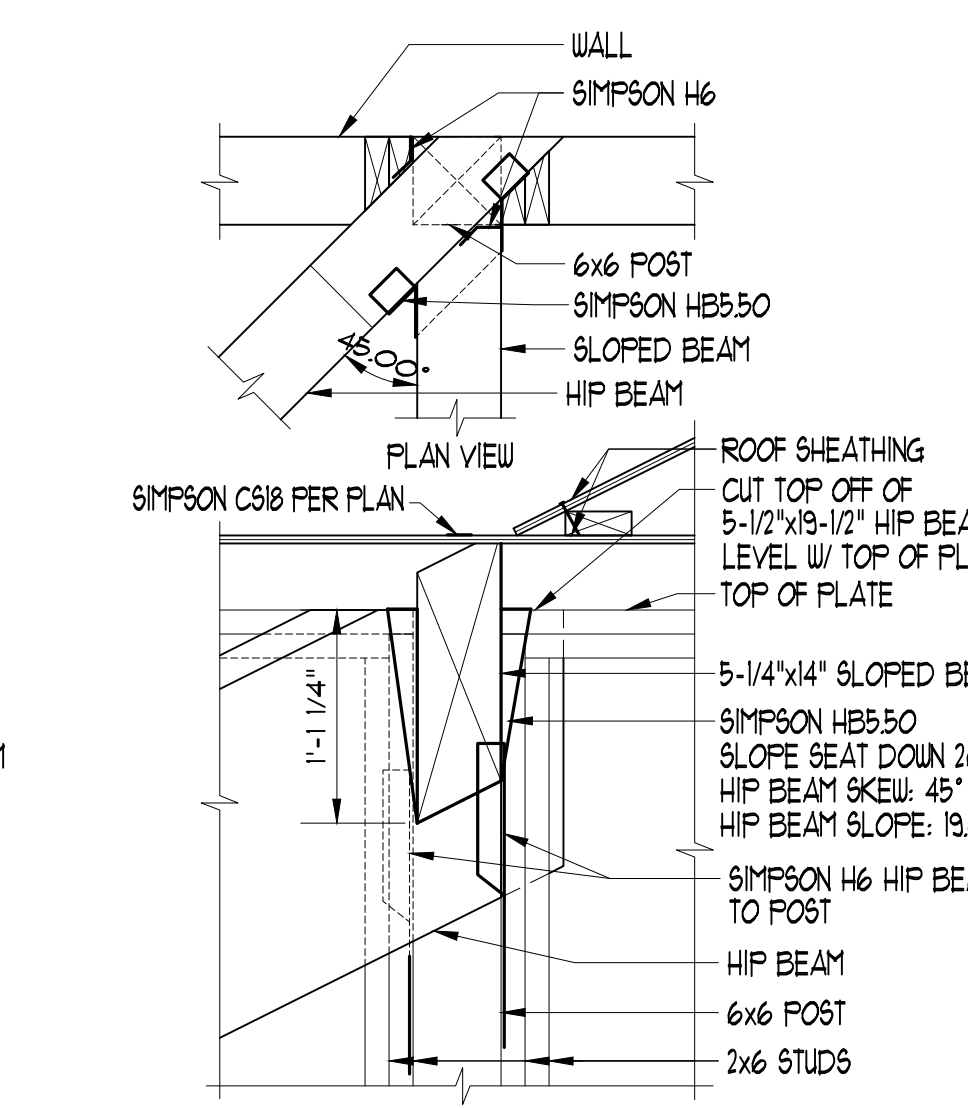
6 FRAMING DETAIL  
SCALE: 1"=1'-0"



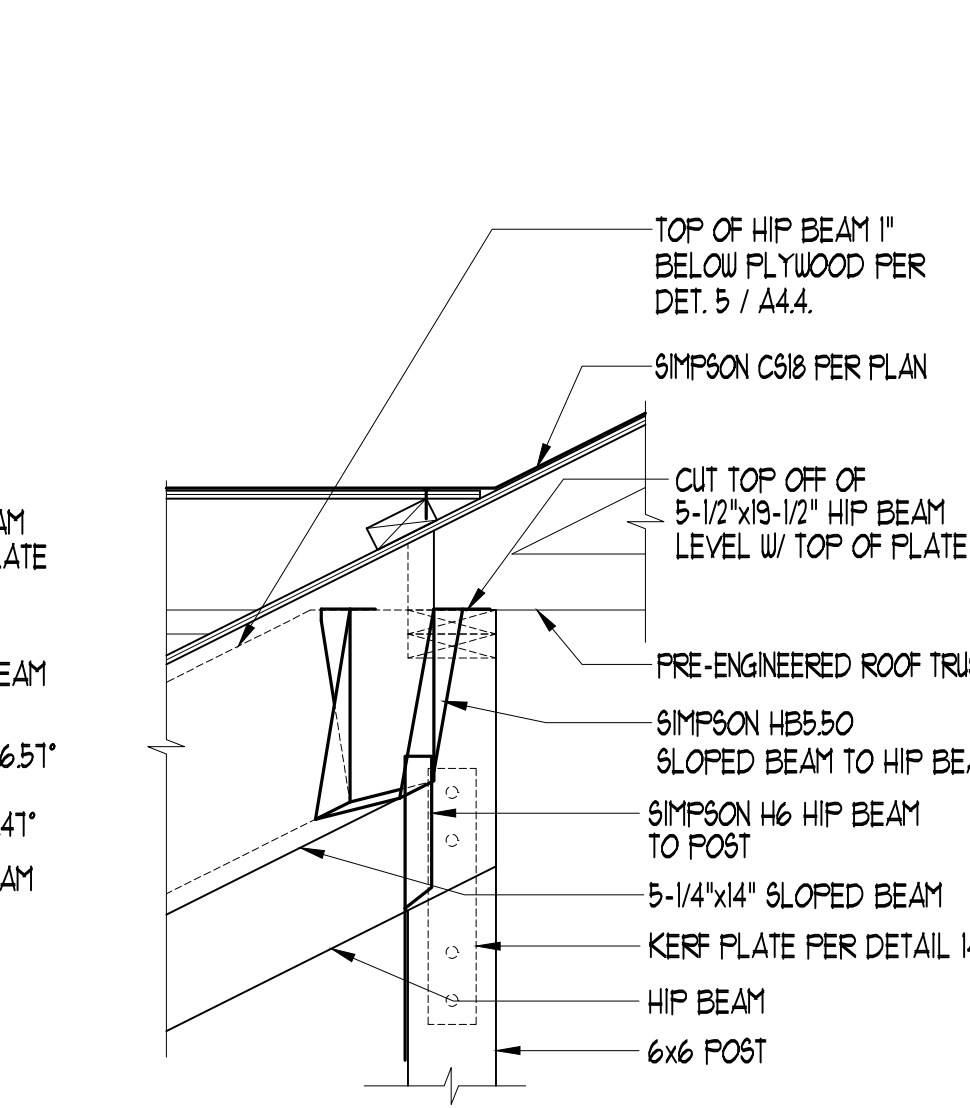
7 FRAMING DETAIL  
SCALE: 1"=1'-0"



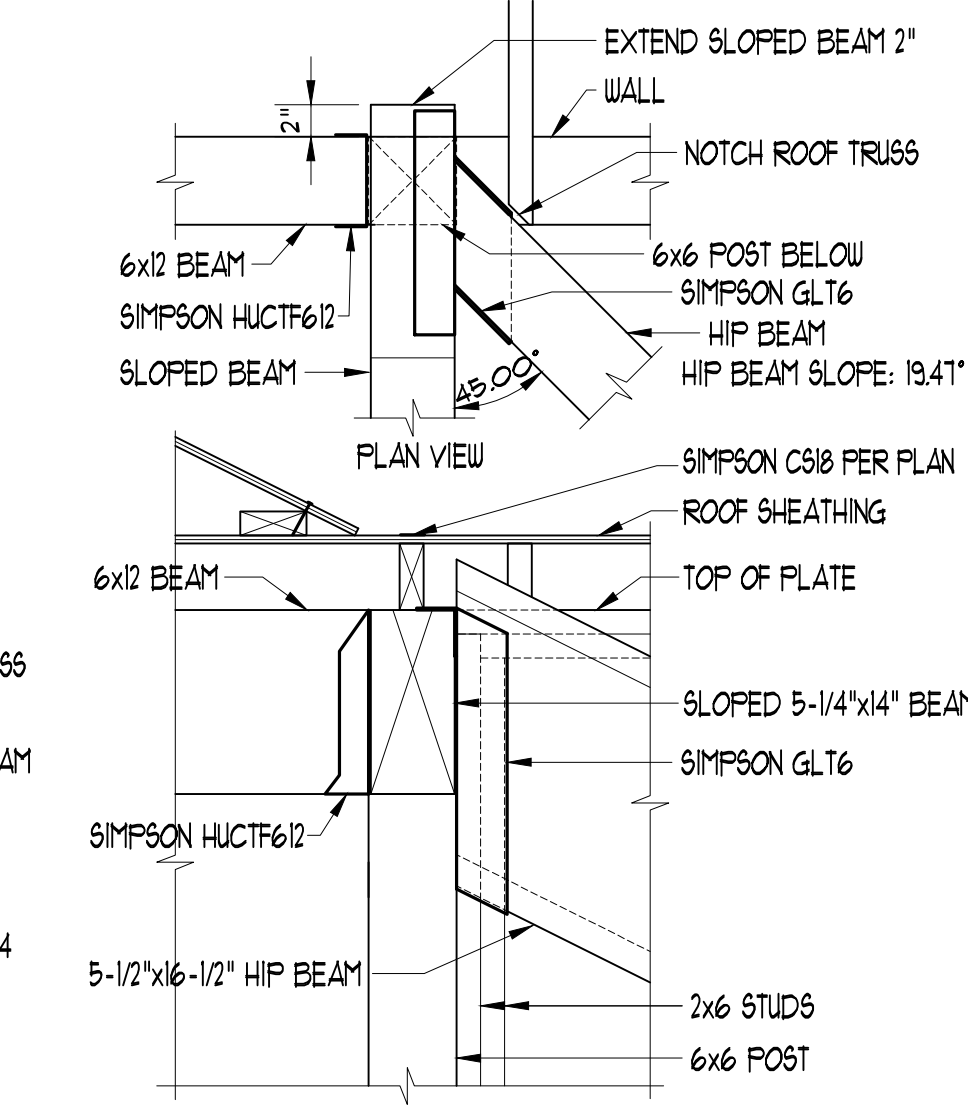
8 FRAMING DETAIL  
SCALE: 1"=1'-0"



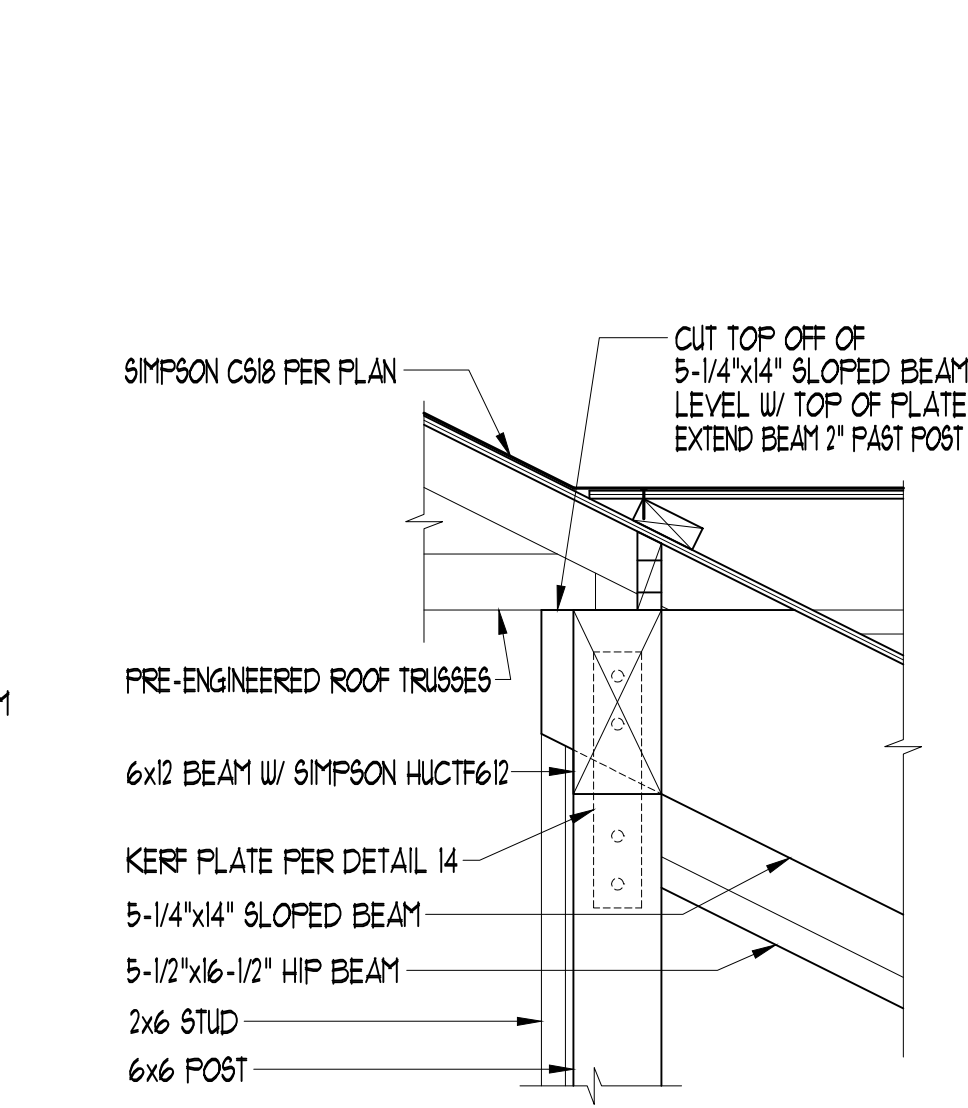
9 FRAMING DETAIL  
SCALE: 1"=1'-0"  
AT HIP ROOF OPTION



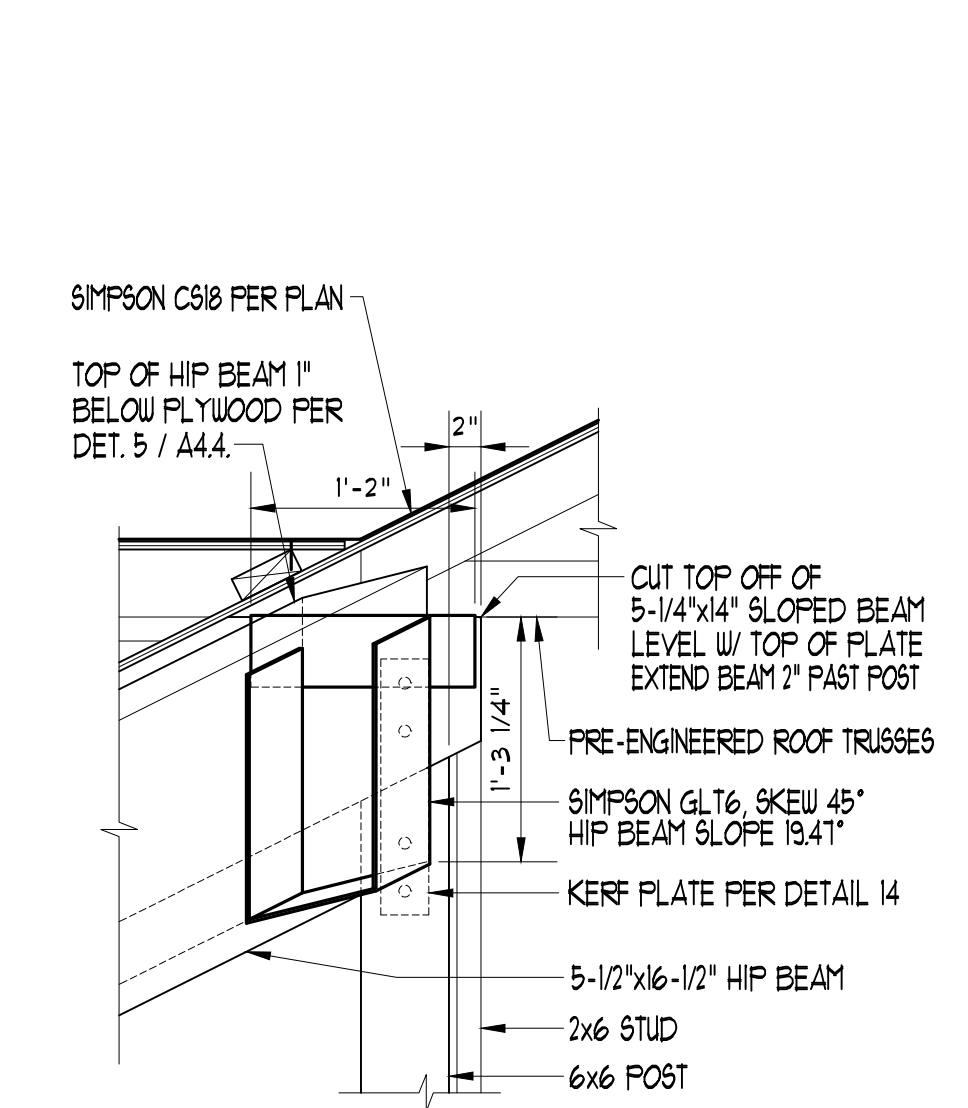
10 FRAMING DETAIL  
SCALE: 1"=1'-0"  
AT HIP ROOF OPTION



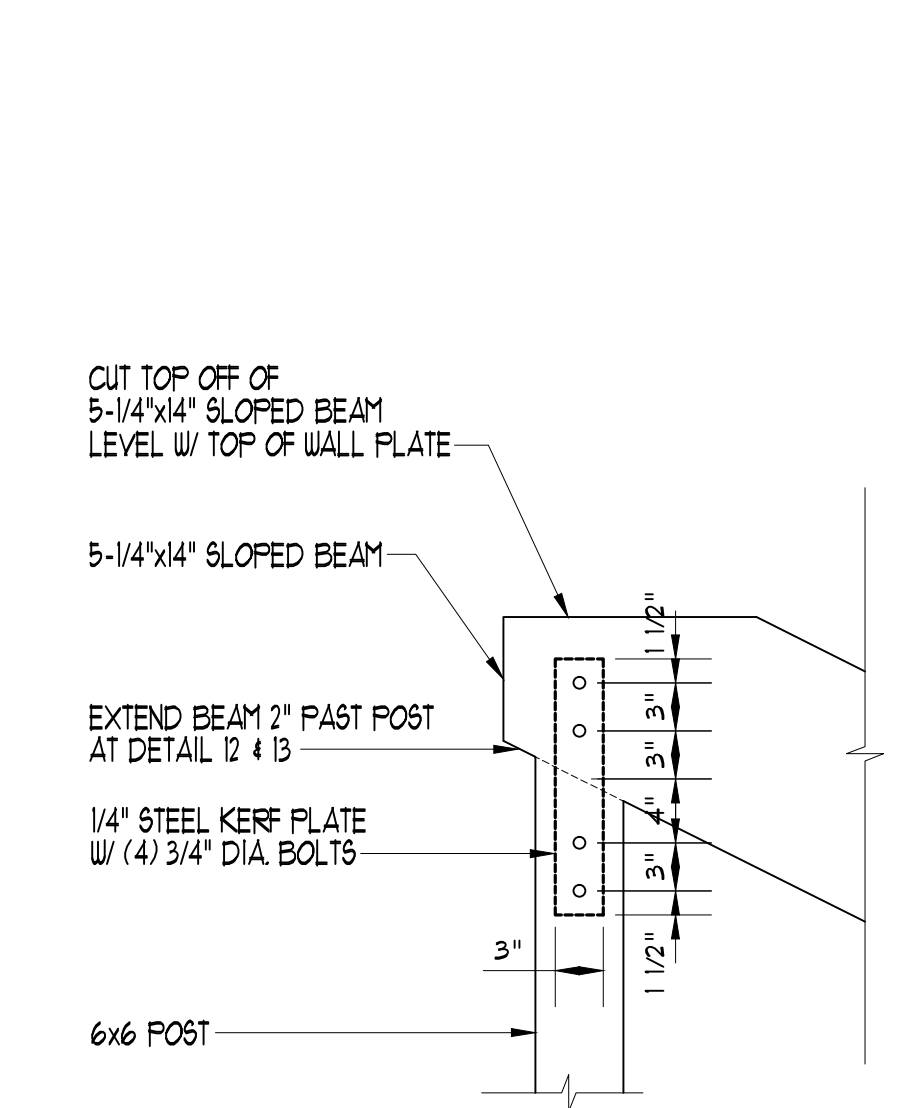
11 FRAMING DETAIL  
SCALE: 1"=1'-0"  
AT HIP ROOF OPTION



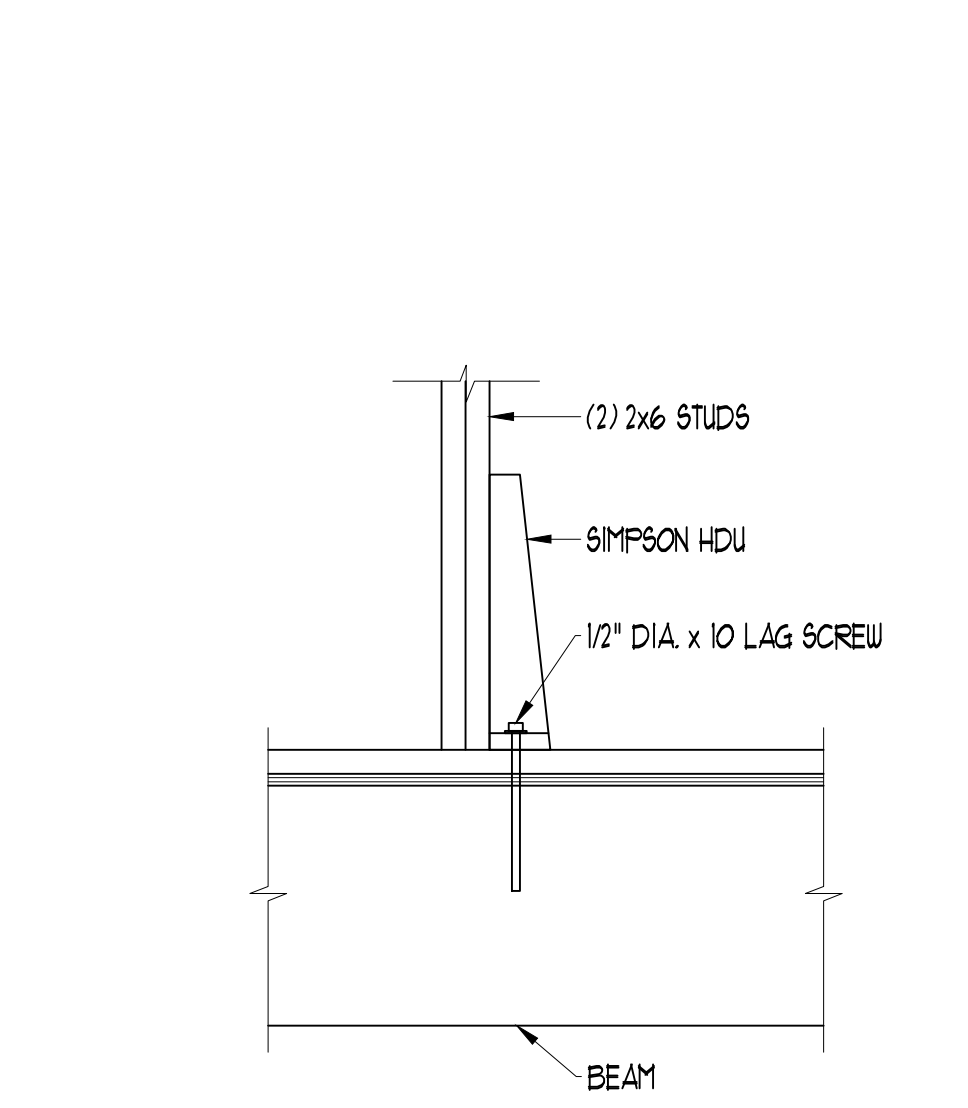
12 FRAMING DETAIL  
SCALE: 1"=1'-0"  
AT HIP ROOF OPTION



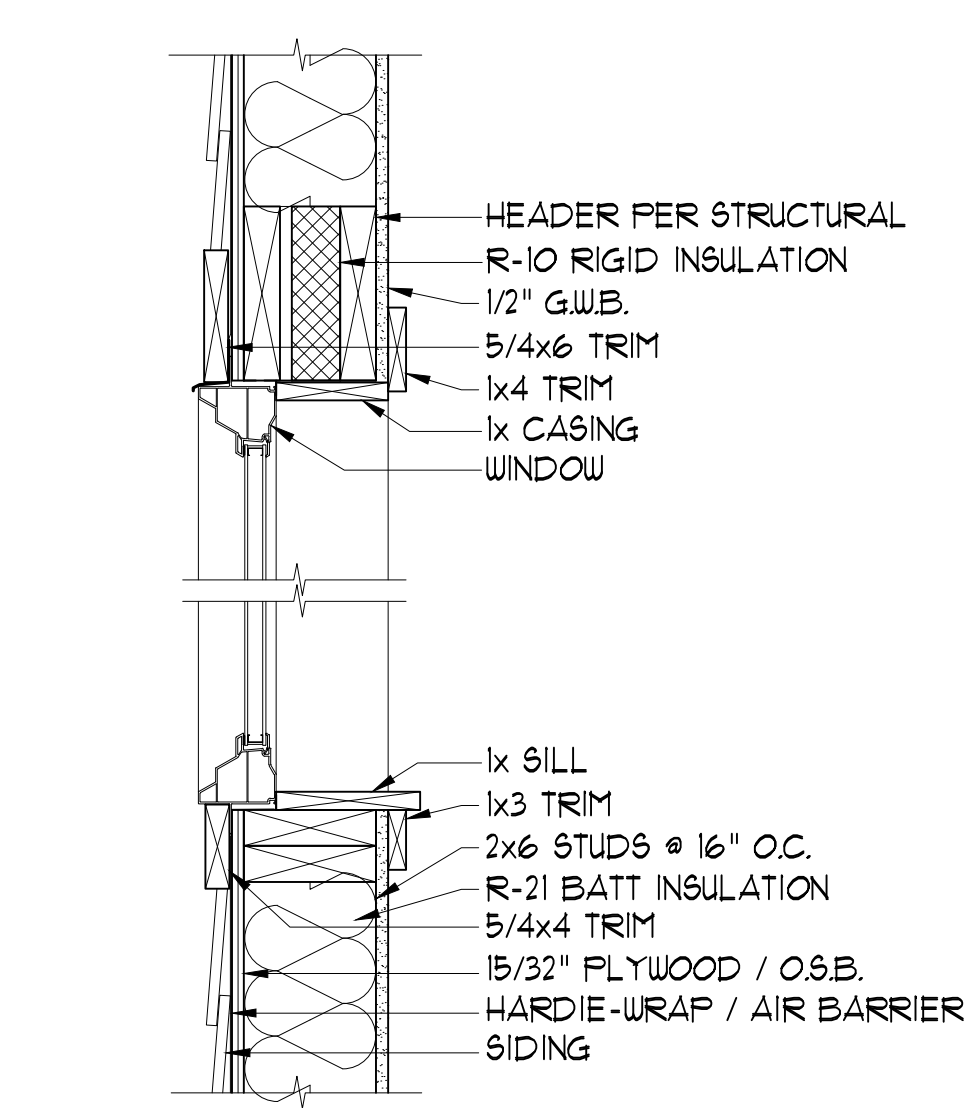
13 FRAMING DETAIL  
SCALE: 1"=1'-0"  
AT HIP ROOF OPTION



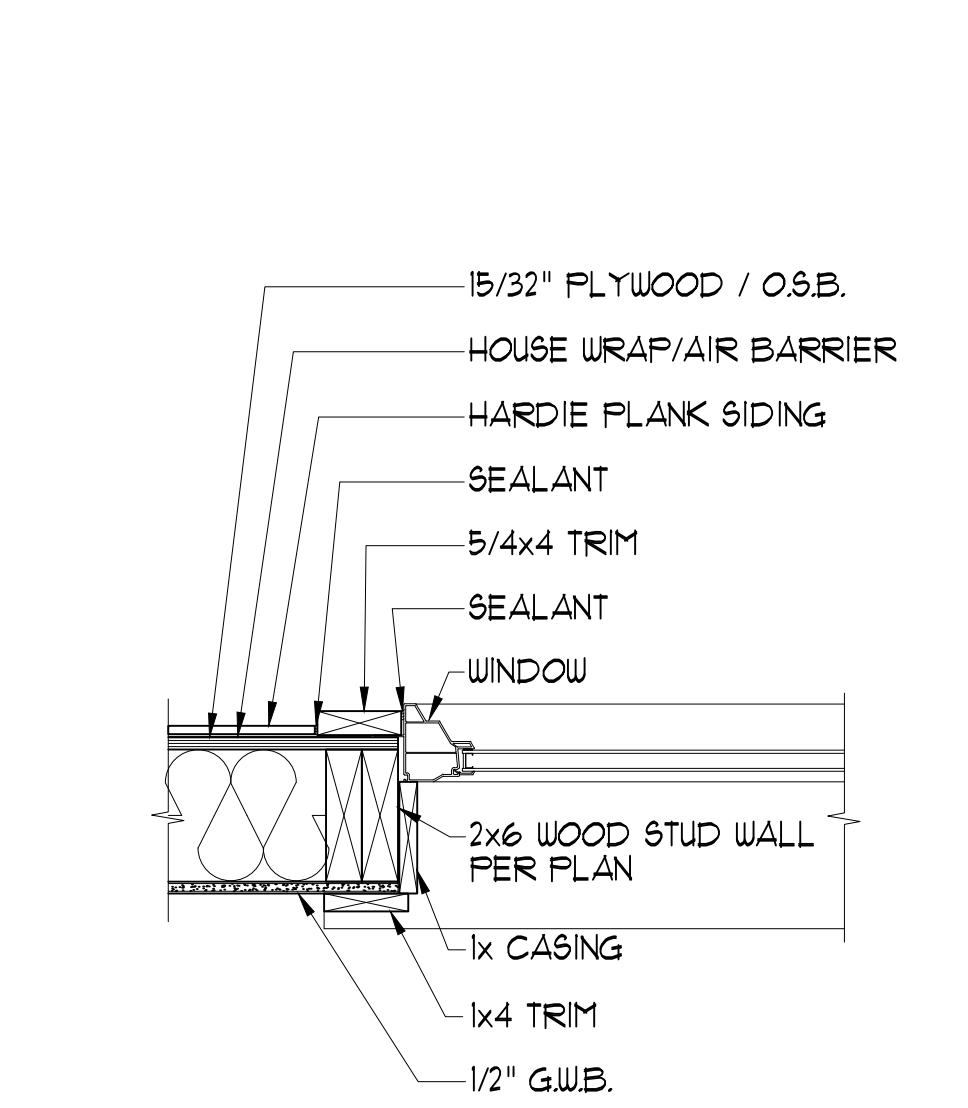
14 FRAMING DETAIL  
SCALE: 1"=1'-0"  
AT HIP ROOF OPTION



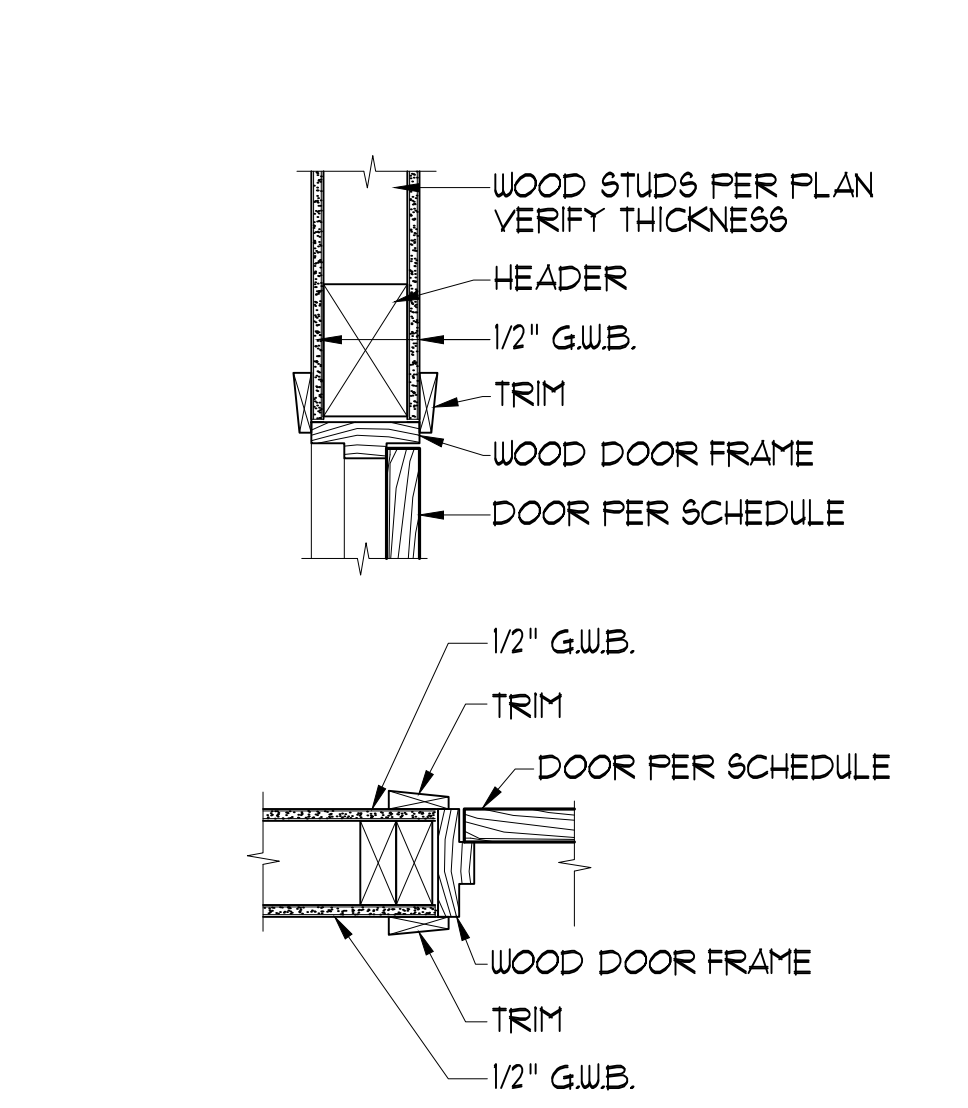
15 FRAMING DETAIL  
SCALE: 1"=1'-0"



16 FRAMING DETAIL  
SCALE: 1-1/2\"=1'-0"



17 FRAMING DETAIL  
SCALE: 1-1/2\"=1'-0"



18 FRAMING DETAIL  
SCALE: 1-1/2\"=1'-0"